



SANDY SPRINGS

GEORGIA

BOARD OF APPEALS

Sherri Allen, Chair
Justin Sparano, Vice Chair
Jason Bodwell
Fred Jewell
Nathan Kongthum
Kimberly Gay
Susan Maziar

Wednesday, February 4, 2026

Regular Meeting

6:00 p.m.

The Board of Appeals meeting will be held in the Studio Theatre at Sandy Springs City Hall
(1 Galambos Way, Sandy Springs, GA 30328)

Live-stream: www.SandySpringsGA.gov/Stream

Public Comment: <http://spr.gs/publiccomment>

I. Call to Order

II. Roll Call and General Announcements

III. Approval of Meeting Agenda

- A. February 4, 2026 Board of Appeals Meeting
(Presented by Samantha Brown, Planning and Zoning Clerk)

IV. Approval of Meeting Minutes

- A. January 7, 2026 Board of Appeals Meeting Minutes
(Presented by Samantha Brown, Planning and Zoning Clerk)

V. Cases

- A. **2026-0002 V-25-54 - 701 Bass Way** — Request for a Variance from Sec. 6.1.2.B. to allow the encroachment of a building eave into the 30- foot side street setback.
(Presented by Helen Owens, Planner III/Zoning Administrator)
- B. **2026-0003 V-25-53 – 870 Edgewater Drive** – Request for a Variance from Sec. 6.1.2.B. to encroach into the 60- foot primary street setback by 20 feet for a new home.
(Presented by Helen Owens, Planner III/Zoning Administrator)
- C. **2026-0004 V-25-60 – 4825 Franklin Pond Road** – Request for a Variance from Sec. 11.7.2.B.3., and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50- foot primary street setback.
(Presented by LaQuita Williams, Planner II)

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in a public meeting, or who have questions regarding the accessibility of the meeting or facilities should contact the City Clerk at 770-730-5600 promptly for assistance.

The City will make reasonable accommodations for those persons.

1 Galambos Way, Sandy Springs, Georgia 30328 • 770-730-5600 • SandySpringsGA.gov



SANDY SPRINGS

GEORGIA

VI. Ongoing Business

Election for Chair and Vice Chair

VII. New Business

VIII. Adjournment

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SANDY SPRINGS

GEORGIA

P&Z STAFF REPORT

Board of Appeals Meeting, February 4, 2026

Case: **V-25-53 – 870 Edgewater Drive**
 Staff Contact: Helen Owens (howens@sandyspringsga.gov)
 Report Date: January 21, 2026

REQUEST

Request for a Variance from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

APPLICANT

Property Owners:	Petitioner:	Representative:
Bruce and Silvia Bowen	Bruce and Silvia Bowen	Bruce and Silvia Bowen

RECOMMENDATIONS

Department of Community Development

Staff recommends Denial of Variance V-25-53

MATERIALS SUBMITTED AND REVIEWED

Materials and Plans

1. “Application” received on December 19, 2025

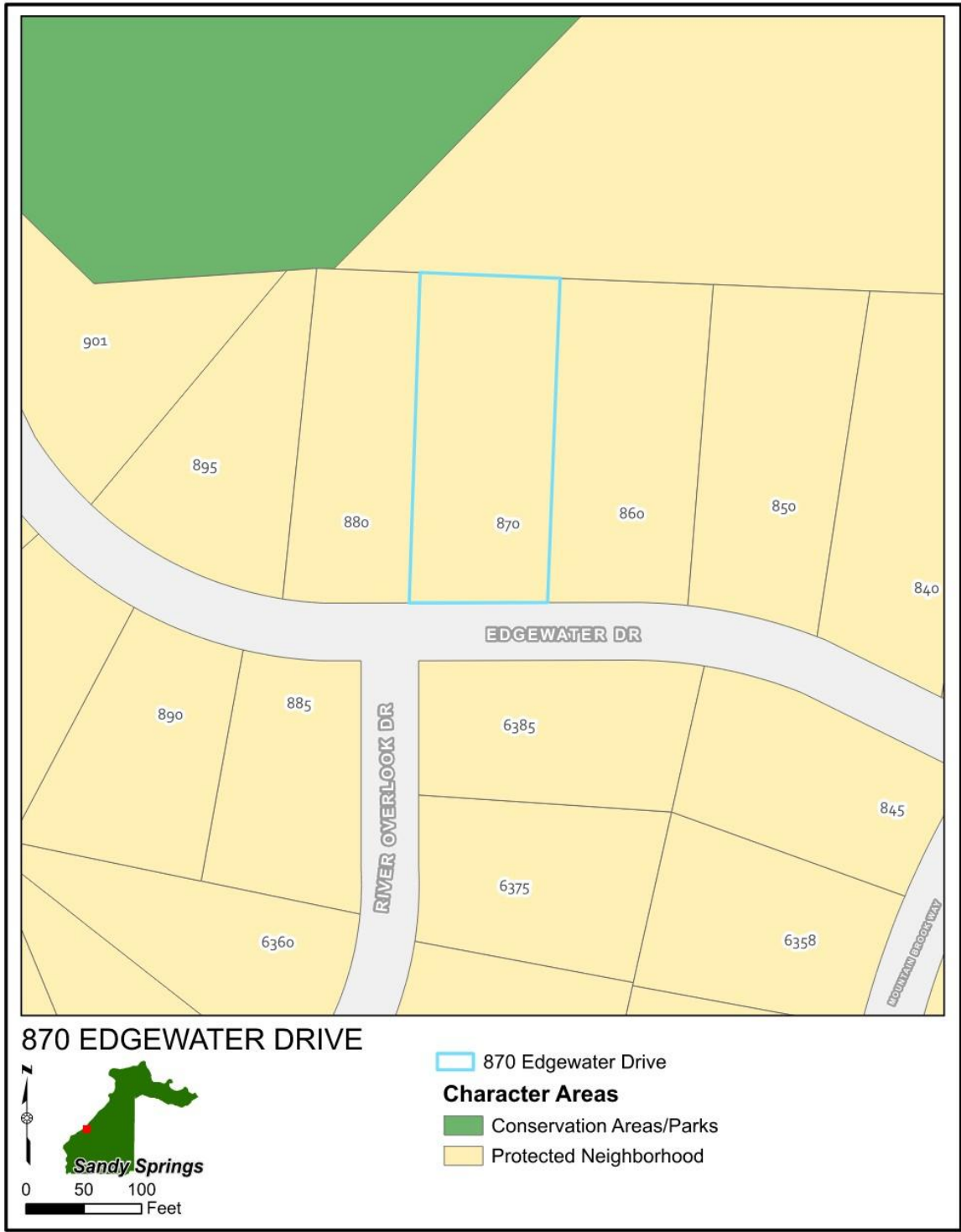
Plans

2. “870 Edgewater DR NW_V100 SURVEY.pdf” received on October 26, 2025. Prepared by Love and Design, LLC and stamped by Luke Love
3. “20251218 Bowen - Variance drawings v2.pdf” received on December 19, 2025. Prepared by Love and Design, LLC and stamped by Luke Love
4. “870 Edgewater Drive MRPA RC-25-04SS” received on December 4, 2025. Prepared by Atlanta Regional Commission
5. “0271_Bowen870Edgewater_SSVariance_1205_2025.pdf” received on December 9, 2025. Prepared by Alan Clark Architects and stamped by Alan Clar

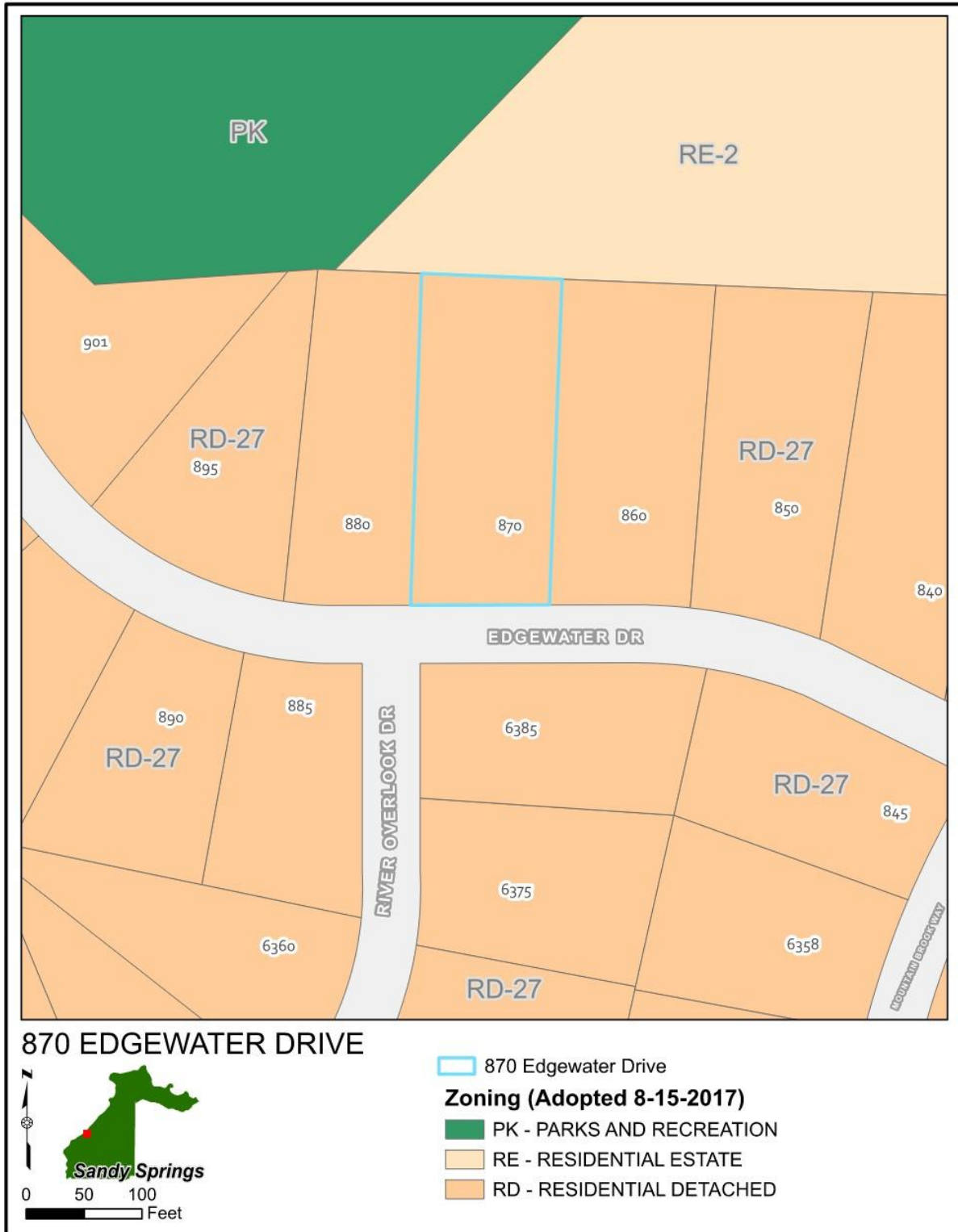
PROPERTY INFORMATION	
Location:	870 Edgewater Drive (17 016800020083)
Council District:	Council District 6 – Andrew Chinsky
Neighborhood:	Riverside Neighborhood Association
Road frontage:	Approximately 119 feet
Lot Depth	Approximately 289 feet
Acreage:	Approximately 0.80 acre
Current Zoning	RD-27 (Residential Detached – 27,000 SF minimum lot size)
Existing Land Use:	Single-Family detached
Previous Zoning Cases:	1962Z-0086 Approved for rezoning from Fulton County residential zone R-1 to Fulton County residential zone R-2A.
Character Area:	Protected Neighborhood

EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY			
Location relative to the subject property	Zoning	Address(es)	Land area (acres) (approximate)
North	RE-2 / Residential Estate	6450 Riverside Drive NW	9.75
East	RD-27 / Residential Detached	860 Edgewater Drive	0.82
South	RD-27 / Residential Detached	6385 River Overlook Drive NW	0.67
West	RD-27 / Residential Detached	880 Edgewater Drive	0.74
PROPOSED DEVELOPMENT			
-	RD-27 / Residential Detached	870 Edgewater Drive	0.80

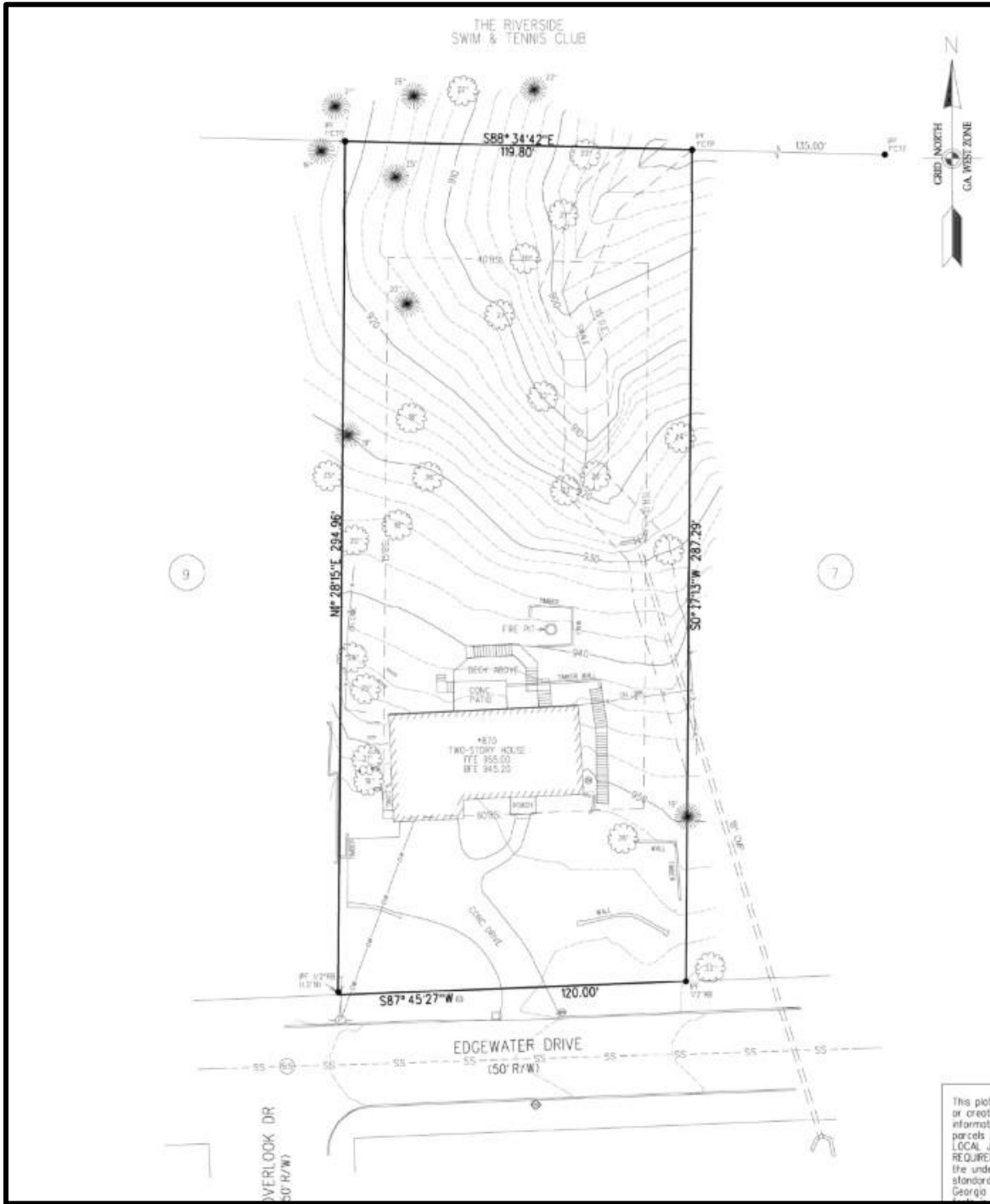
CHARACTER AREA MAP



ZONING MAP







EXISTING DEVELOPMENT

The 0.80-acre subject property is zoned RD-27 (Residential Detached – 27,000 square-foot minimum lot size) and has a house that is proposed to be demolished. Based on Fulton County records, the lot was plated in 1968, and the present owners acquired the property in 1994. Located within the Riverside neighborhood, the subject property is east of the Chattahoochee River and is developed with a 2-story home and 2-car garage and a driveway. The entire property sits within the Metropolitan River Corridor, and subject to the Metropolitan River Protection Act. The property is heavily wooded to the rear and sides; it also sits to the south of Old Riverside Park. A culvert easement and swale to route stormwater, runs along the northeast side of the property, making around 6,801 SF of the property unbuildable.

The parcel is a rectangular shape with steep topography that slopes 20.75% downward from the street (954-feet-ASL*) to the rear (892-feet-ASL*) of the property, a change in elevation of 60 feet over the 289.1-foot lot depth. There is an increase in steepness descending in the rear within the 40-foot rear setback. A 20-25% slope is generally considered as steep.

*Elevation in feet Above Sea Level (ASL)



Aerial view showing topography lines (in green) of subject property and surrounding parcels



View showing front of home facing North from Edgewater Drive



View of rear of home facing South



View of east side of the rear yard facing North



View of west side of the rear yard facing Northwest

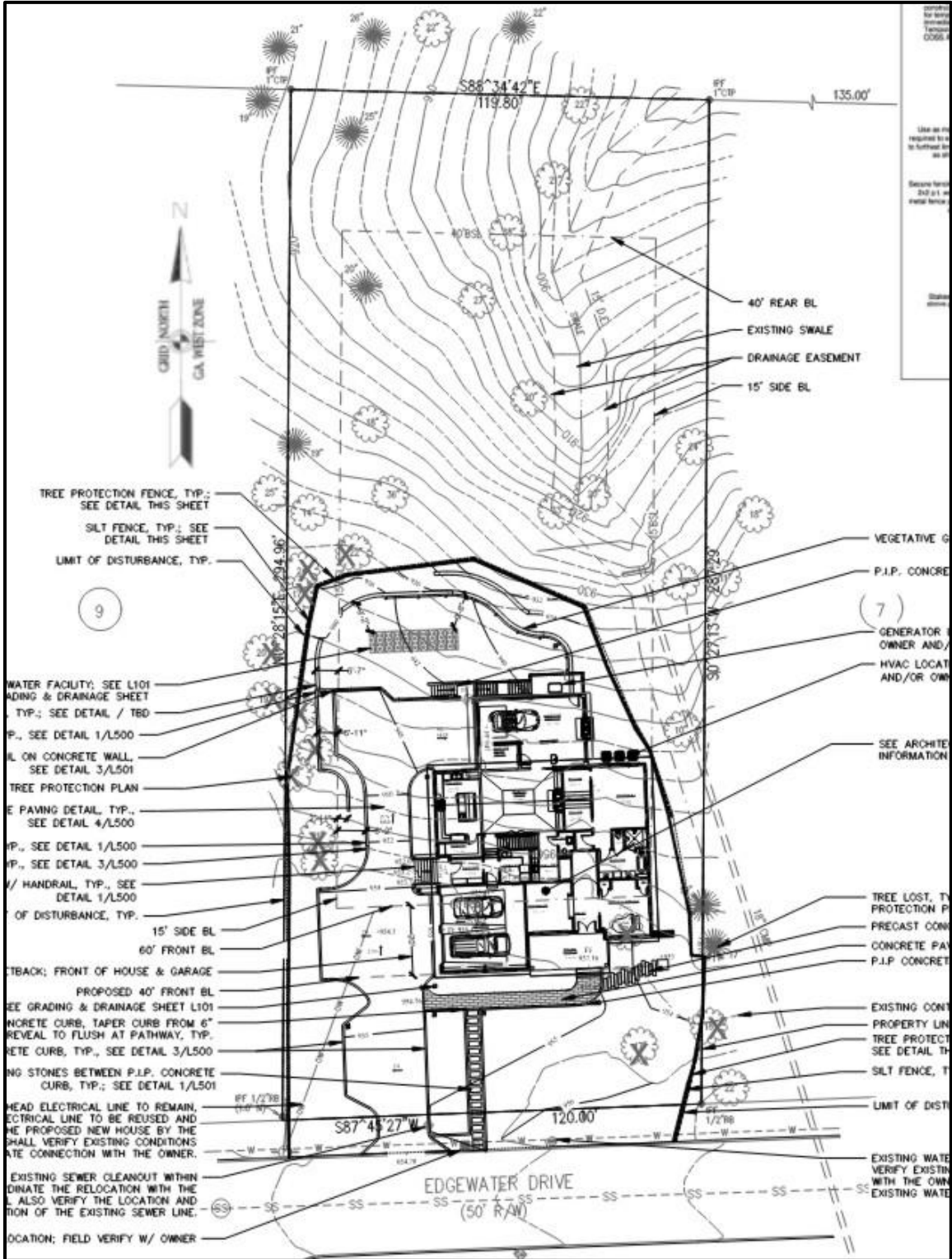


View of east side of home facing North



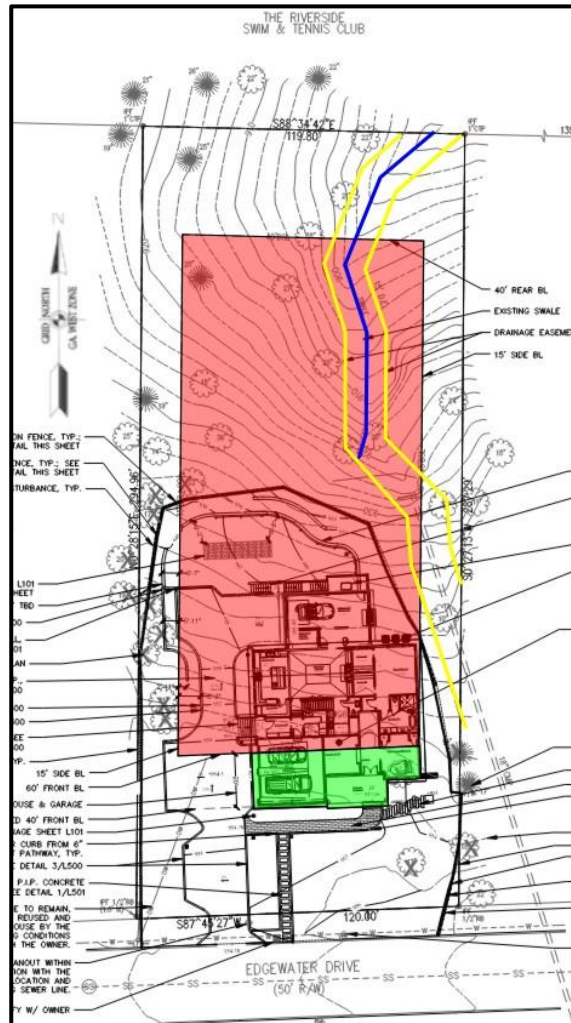
View of west side of home facing South

Site Plan (received December 19, 2025)



PROPOSED DEVELOPMENT

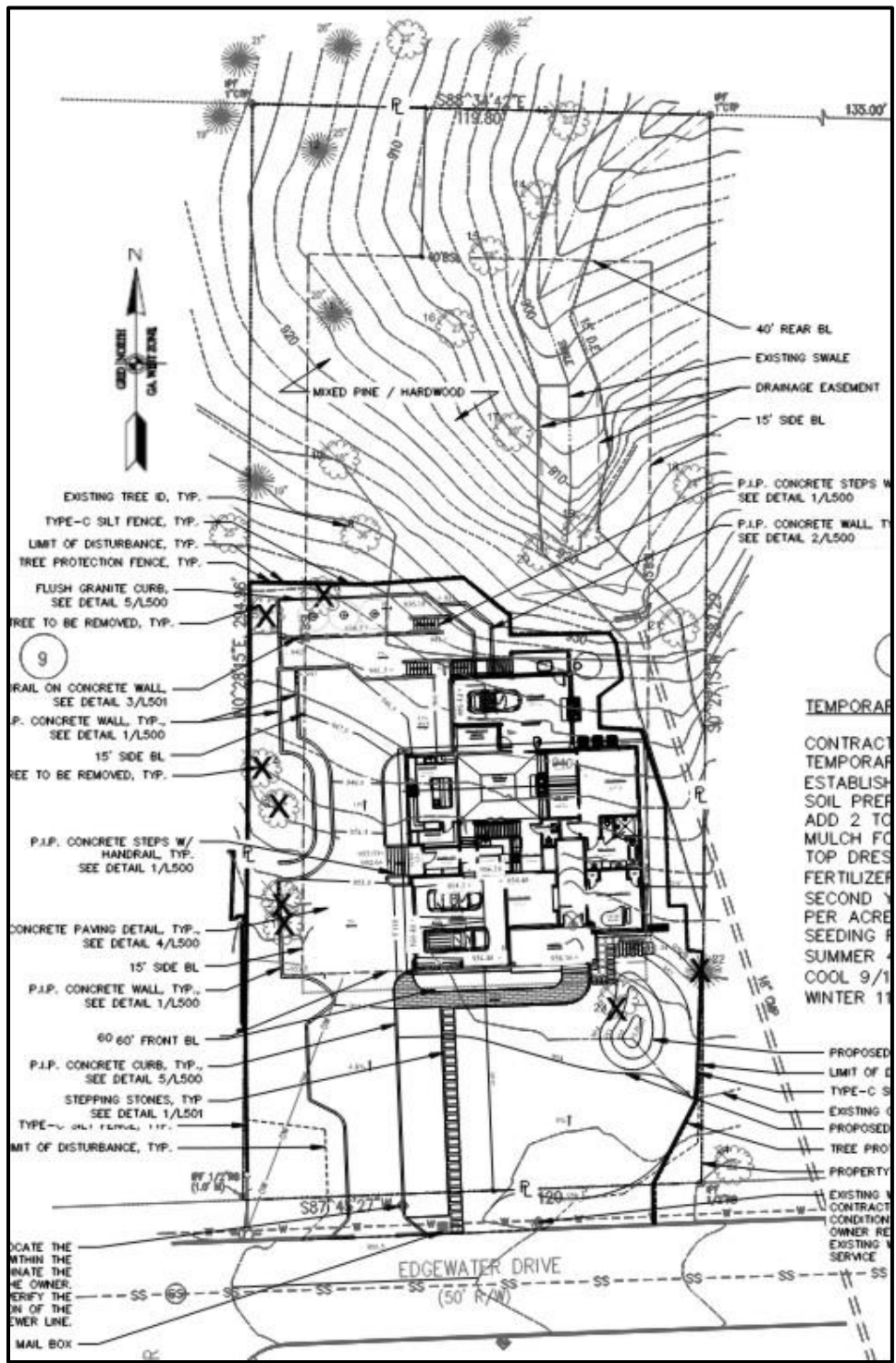
The applicants are proposing to demolish the existing home and build a new home that will encroach into the 60-foot primary street setback by 20 feet. The new home will have a main level, second level, and terrace level. The main level would have a master on the main, kitchen, family room, music room, a 576 SF two-car garage, and a 494 SF unheated screened porch. The second level would include three (3) bedrooms, an office, and a laundry room. The terrace level will be unfinished with 2 large rooms for water and sewage. There will also be a third garage under the screened porch, at the terrace level at the rear. The two-car garage, screened porch, dining room, and music room are the site elements that encroach 20 feet into the 60-foot primary street setback. The proposed development meets the Metropolitan River Corridor Act consistency with the River Corridor Plan.



The yellow lines indicate the existing drainage easement, the blue line indicates the swale, the red shaded area indicates the buildable area, and the green shaded area indicates the 20 feet setback encroachment.

Sec. 6.1.2.B. Setback Encroachments All buildings and structures must be located at or behind the required setbacks, except as listed below. No building or structure can extend into a required buffer, easement (including private street easement) or public right-of-way.

The applicants are proposing to build a new home that encroaches into the 60-foot primary street setback by 20 feet.



Above is a code compliant alternative design the applicants provided. All the site elements are located within the buildable area

V-25-53 VARIANCE CONSIDERATIONS

Per Section 11.6.2. of the Development Code, the following list of approval criteria for a Variance provides guidance for making decisions on approval:

1. ***Variations will only be granted upon showing that:***

- a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;***

Finding: The Development Code does not permit new builds to be nonconforming. The applicants are proposing their new home to encroach into the 60-foot primary street setback by 20 feet. Staff believes that although the variance request maintains overall character of the existing home and the surrounding neighborhood, the minor deviation from the Development Code is non-compliant.

- b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;***

Finding: Staff believes the development would not be detrimental to the public safety, health, or welfare of the public or injurious to other properties.

- c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;***

Finding: The physical conditions of this property are not unique for Sandy Springs or this neighborhood in terms of topography. The 60-foot primary street setback is standard for the RD-27 zoning district, which applies to properties within the Riverside neighborhood. Staff notes this property, and its site elements are not unique to the neighborhood or Sandy Springs.

- d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;***

Finding: Given the physical conditions, size, shape, and topographical conditions of the property, an extraordinary hardship would not result if the strict letter of these regulations is carried out. Rather, it would be a mere inconvenience, not a hardship, for the applicant to redesign or reconfigure their proposed house plan to fit the parameters of the subject property.

- e. The variance requested is the minimum necessary to accomplish the development or building;***

Finding: This property may be developed in compliance with the Code, however the house plan proposed by the applicants necessitates the requested variance, where a different or reconfigured building plan would allow development of this lot without the need for relief. This variance request is not necessary to accomplish development on this property.

- f. In the case of an amendment to a buffer or setback required by this Code, the variance application shows how equal or greater protection will be achieved of the adjacent property or natural resource affected by the proposed development, should the variance be granted; and;***

Finding: The application does not show equal or greater protection to the adjacent property or natural resources; however, it also does not show detriment to the adjacent property or natural resources. The proposed development would be inconsistent with the neighborhood primary street setbacks.

g. Such conditions are not the result of action or inaction of the current property owner; and

Finding: The physical condition of the parcel is not a result of action or inaction of the current property owner; however, the proposed development is not appropriately designed to account for the conditions of the property.

2. Failure of an applicant to obtain a land disturbance, building or any other permit required by this Code shall not in and of itself constitute a justification for a variance absent a showing of the criteria listed under Section 1 above.

Finding: This variance request is not predicated on the failure of the applicant to obtain a land disturbance building or any other permit required by this Code, but rather on the specific site conditions and circumstances cited in the application.

COMMENTS FROM OTHER PARTIES

Sandy Springs City Engineer:

No comment provided.

Sandy Springs Arborist:

I reviewed the preferred site plan and the site plan included in the MRPA review document, which shows the proposed house within the buildable area. The claim that the tree impacts will be greater with the house located within the buildable area cannot be verified as the critical root zone impacts were not shown by the applicant.

Sandy Springs Building Official:

The other houses on that side of the street align with the front of the current house on 870 Edgewater or they are set even farther back. The deck structure will need to be designed and stamped by a structural engineer (licensed in the State of Georgia.). Note that if the variance is granted you will still need to submit a complete set of drawings (Civil, Architectural, Structural (if applicable) and Engineered Wood Products layouts (if applicable) and go through plan review to obtain a Building Permit. They could eliminate the golf cart parking garage and reduce the encroachment into the front setback by as much as 10 feet.

Sandy Springs Land Development Manager:

On the alternative plan the walls appear to meet code as they are interior facing and do not exceed the height requirements. The applicant will need to apply for all the necessary building permits.

Sandy Springs Chief Environmental Compliance Officer:

No comment provided.

Sandy Springs Fire Marshal:

No comment provided

Urban Forest Coordinator:

No comment provided.

Sandy Springs Transportation Planner:

No comment provided

Sandy Springs Public Works:

No comment provided.

Correspondence Received:

No comment provided.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATIONS

Staff recommends **Denial** of Variance V-25-53 a request for relief from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

If the Board chooses to approve the variance, staff recommend the following condition(s):

1. That construction be substantially similar to the provided site plan.

SPORTS

Holy Innocents' girls' basketball continues to thrive under new coach

By Greg Oshust
Sports Editor

The Holy Innocents' girls' basketball team reached the top of Georgia girls' high school basketball with a state championship in Class A-3A Private last year.

The Lady Bears are aiming for a second consecutive state title with a new coach as Nathan Teymer takes over for Nichole Dixon, who is now the basketball coach at Girls Preparatory School in Chattanooga, Tenn.

Holy Innocents' is continuing to thrive under its new coach, with a 9-5 overall record and 1-0 mark in Region 5AA as of Jan. 8.

Teymer has spent his coach-

ing career on the college level. He was the women's basketball coach at Southern Polytechnic State University in Marietta from 2005 to 2010 — leading SPSU to the Sweet 16 in the NAIA national tournament in '10 — as well as being the head women's coach at Augusta University (2010-17) and the associate women's head coach at Texas State (2017-25), before taking over a Holy Innocents' girls program that has won four state titles and made eight championship game appearances over the last 13 years.

"I've been in Texas the last eight years, but I was in Georgia for 17 years prior to that," Teymer said. "When I

was a college coach, I would always try to recruit Holy Innocents' players, just from that they were a talented group and also just from a maturity standpoint, academic standpoint. I just had a lot of respect and admiration for the school itself and so it was one of those things where I was thinking about making a lifestyle change, going from college to the high school ranks.

"My wife and I always loved the Atlanta area, so it was a really good fit when the job came open and just to be able to come back and be at a school — not just as a basketball program, but just a school with the kind of respect and reputation of Holy Innocents'."

The Lady Bears lost their first two games against defending state champions — losing to AAAAA champion River Ridge 61-60 Nov. 8 and AAAAA champion Newton 67-49 Nov. 15 — as well as losing to perennial AAAAA powerhouse Hillgrove 46-39 Nov. 18, before winning nine of their next 11 games.

"Overall, it has been a big learning process — getting to know the girls and the girls getting to know me," Teymer said. "We started off with some injuries at the beginning of the year, so we really didn't have our full roster. The starters are



Special Photo — Patrick Ammons

Holy Innocents' sophomore forward Loriel Murray (52) shoots a jumper during the Lady Bears' 72-60 victory over North Paulding at the Hawks-Naismith Tipoff Classic Nov. 22.

just trying to get chemistry. With our schedule, it's been very tough. I know they don't do a strength of schedule-type ranking, but I would feel we would be up there with strength of schedule just to show how difficult it has been. But that's a great thing for us, just to kind of prepare us for trying to make a run later on in the year."

Holy Innocents' suffered a big blow with the loss of junior wing Nakhai Worthy,

who is out for the season after suffering a knee injury in the Lady Bears' season opener against River Ridge.

However, the Bears still have plenty of talent on hand, with sophomore forward Loriel Murray, senior wing Elana McMasters — who scored a career-high 32 points in a 73-43 win over Heard County Dec. 30 — junior guard Makayla Weacer, sophomore guard Makenzie Weaver and sophomore for-

ward Aaniyah Branch.

"They all have different roles," Teymer said. "I think, probably, Loriel and Elana are probably more for the points, trying to be consistent with points every night. But it's one of those things where everyone has kind of their role. We play probably about seven players, so we're not the deepest team, but it's one of those things where if everyone can kind of come together, we should be OK."

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-53

Petitioner: Bruce and Silvia Bowen

Property Location: 870 Edgewater Drive
Parcel # 17 016800020083

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-60

Petitioner: Ravi and Anissa Durairaj

Property Location: 4825 Franklin Pond Road
Parcel # 17 006700070114

Current Zoning: RD-18

Request: Request for a Variance from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF ATLANTA REGIONAL COMMISSION
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

Petition Number: RC-25-06SS

Petitioner: Daniel Cipriani
400 Pilgrim Mill Road
Cumming, GA 30040

Property Location: 8935 River Landing Way
Sandy Springs, GA 30350
Parcel: 17 008000030012
LL 81, 17th District
Council District 2

Site Acreage: 1.042 acres

Request: The property owner proposes the construction of a new two-car garage. The site is located in Category "D" with a proposed impervious area of 9,923 SF and Category "E" with a proposed impervious area of 827 SF.

Public Hearing: Mayor and City Council
February 3, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Option: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.

By Rob Maaddi
Ap Pro Football Writer

The NFL coaching carousel keeps spinning.

Eight teams are seeking a new head coach after Baltimore fired John Harbaugh on Tuesday and Miami fired Mike McDaniel on Thursday. Others could join the search if their team is one-and-done in the playoffs. Harbaugh's sudden availability after 18 seasons with the Ravens could create a new opening.

Multiple teams are interested in Harbaugh, including a club without a current opening, two people with knowledge of the conversations told The Associated Press. Both spoke on condition of anonymity because the discus-

sions are private.

Teams with head coaches can't secretly work behind the scenes to hire Harbaugh or anyone else because the NFL adopted the Rooney Rule in 2003. It requires teams to conduct in-person interviews with at least two diverse — minority or female — candidates who don't currently work for the team.

The Buccaneers aren't among the teams looking for a new coach because Todd Bowles is staying put in Tampa Bay, a person with knowledge of the team's thinking told the AP.

Bowles is under contract for three more seasons and is returning for a fifth year as head coach despite a major collapse in the second half. The Bucs went from 6-2 to 8-9 and missed the playoffs after winning the NFC South for four straight seasons. Bowles was the defensive coordinator under Bruce Arians when Tom Brady led the Bucs to a Super Bowl title five years ago.

The New York Giants, Tennessee Titans, Atlanta Falcons, Arizona Cardinals, Cleveland Browns and Las Vegas Raiders also have current openings for a head coach.

Here are three more teams that could decide to make a coaching change:



Gene J. Puskar — AP

Baltimore Ravens head coach John Harbaugh, left, and Pittsburgh Steelers head coach Mike Tomlin, right, talk before an NFL football game Sunday, Jan. 4, 2026, in Pittsburgh.

BUFFALO BILLS

Sean McDermott has led the Bills (12-5) to the playoffs in eight of his nine seasons. But after five straight AFC East titles, they enter this postseason as a wild-card team with the No. 6 seed.

McDermott and Josh Allen have been under pressure to get to the Super Bowl after falling short in the conference championship game last year. They lost in the divisional round the previous three seasons. The Bills won't have to face Patrick Mahomes and the Chiefs, who knocked them out four times in the last five years.

The Bills are one-point favorites on the road against

Jacksonville on Sunday. If Buffalo loses, it might force a change despite McDermott's success.

GREEN BAY PACKERS

Matt LaFleur has led the Packers (9-7-1) to the playoffs six times in seven seasons. He guided them to three straight 13-win seasons in his first three years but they lost at home in the NFC championship game twice. They've been the No. 7 seed each of the last three seasons.

Green Bay is a one-point road favorite against division rival Chicago on Saturday night. The Packers and Bears split their season series.

Losing star pass rusher Micah Parsons was a major blow for Green Bay's Super Bowl hopes. LaFleur has a tough task this postseason.

PITTSBURGH STEELERS

Mike Tomlin was a missed 44-yard field goal from being eliminated and Harbaugh and the Ravens would be hosting the Houston Texans this week as the AFC North champion instead of the Steelers.

Tomlin is a Super Bowl champion coach who has led Pittsburgh for 19 seasons, one longer than Harbaugh was in Baltimore. He's 193-114-2 in the regular season and 8-11 in the playoffs. But the Steelers (10-7) haven't won a playoff game since 2016 and there's been speculation about Tomlin throughout the season. A loss Monday night to the Texans could lead to a change.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-54

Petitioner: Andrea Darweesh

Property Location: 701 Bass Way
Parcel # 17 0133LL1102

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to allow the encroachment of a building eave into the 30-foot side street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.

Letter of Intent for V-25-53

Variance Request for 870 Edgewater Drive, Sandy Springs, GA 30328
Submitted by Bruce and Silvia Bowen (property owners)
November 1, 2025

Requested Variance:

We are requesting a 20 ft encroachment into the front setback for the property at 870 Edgewater Drive, Sandy Springs, GA 30328. We had intended to build within the 60 ft setback but after extensive work including architectural design, landscape architecture design, 3D rendering, passing ARC requirements and soliciting bids from multiple vendors we have concluded that encroaching into the front setback is required for the reasons below.

The goal is to build a new house at 870 Edgewater Drive. However, with the current setback required and the limitations of our property, this cannot be done at a reasonable cost. Therefore, we are requesting to encroach 20ft into the front setback.

Factual Details about the residential proposal:

The requested encroachment is 20ft deep by 61ft wide or 1220 sq ft.

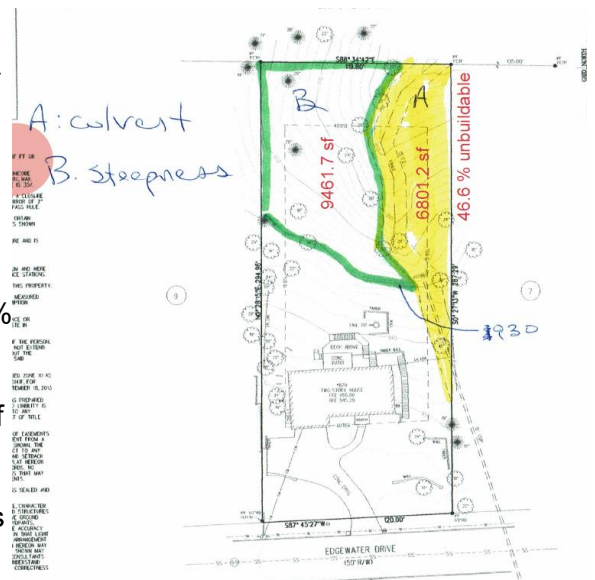
The planned new house will have the main level, second level, and terrace (basement) level. The main level would have a master on the main, kitchen, family room, music room, etc. The heated area would be 2497 sf, an unheated 2 car garage of 576 sf and an unheated screened porch of 494 sf.



The second level would have heated area of 1566 sf (above 7 ft). There will be 3 bedrooms, and office, 3 baths, and a laundry room. The terrace level (basement) would have daylight on the backside and possible the sides. It will be unfinished with 2 large rooms. It will be stubbed for water and sewage. There will also be a 3rd garage under the screened porch at this level.

Factual Details about the site:

The lot is zoned RD-27. It is 0.80 acres and 34,885 square feet. However, almost half of the lot is either unbuildable or extremely difficult to build on. 6801 sf (yellow) is unbuildable because of a culvert easement and swale to route stormwater. You cannot build on or over this easement. 9461 sf is very difficult to build because of steepness of terrain. This area roughly corresponds to the 930ft topographical line running across the property. Together, these 2 areas reduce the build-able area by 46.6%.



The picture below on the left is the area that is very difficult to build on because of steepness. Notice the steep drop off that joins the swale/culvert easement. The picture on the right was taken from 936 ft overlooking the swale / culvert easement (yellow). Notice the severe drop off. This area is unbuildable due to the culvert easement.



Alternative designs explored:

Assuming the standard 60ft setback, from the front of the proposed house to the back of the proposed house, the elevation drops 22ft from 954 ft to 932ft. This 22 ft drop causes large retaining walls, and tall foundation walls.

We had an advanced 3D rendering built that combined the architectural plans, landscape design, and detail survey. The rendering made it obvious how difficult it was going to build and the limitation on the backyard.

The planned usable space is above the blue line drawn on the images. Everything below the drawn blue line is void or fill dirt. For reference, the ceiling in the terrace level/basement (lower bricked area) is 10ft. The width of the back screened porch is 19' 7" just short of the 20ft encroachment we are requesting.



Pushing the house back further would have amplified the issue because the steepness increases the farther back we go. Additionally, you would be limited by the culvert easement. If we removed the



back deck the foundation wall on the basement would still be very tall. Plus, the back deck allows us and future owners to enjoy the beautiful wooded backyard.

We also discussed making the house wider. The culvert easement limited us on the east side. Then the driveway and turning radius for the garage limited us on the west side. Finally, after much discussion with our architect, landscape architect and several builders, we concluded the best path was to seek a variance.

We also noticed that several other houses in our neighborhood encroached into the front setback. These lots were also irregular shaped or steep – in other words, they are similar to ours. While the examples below are on our street, there are many others that we found in Sandy Springs that encroached on the front setback.

Address	Zoning	Zoned setback (ft)	Actual Setback (ft)	Setback Variance
870 Edgewater Drive (proposed)	RD-27	60	40	20.00
960 Edgewater Dr NW	RD-27	60	31.01	28.99
970 Edgewater Dr NW	RD-27	60	31.53	28.47
1045 Edgewater Dr NW	RD-27	60	34.25	25.75
980 Edgewater Drive	RD-27	60	30.51	29.49

<https://experience.arcgis.com/experience/85a1ed8dae7c4b779e9c1e78edf51e65/page/Community-Development>

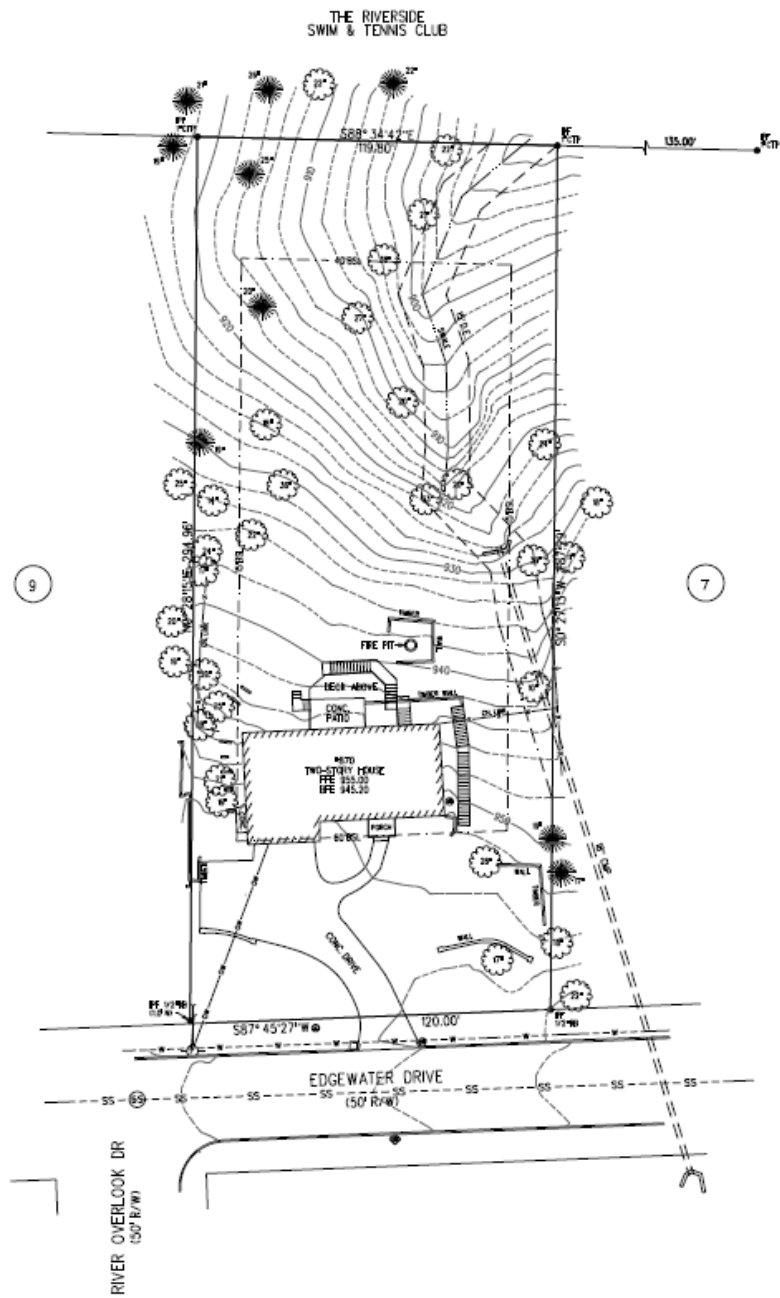
Variance Analysis V-25-53

Variance Request for 870 Edgewater Drive, Sandy Springs, GA 30328
Submitted by Bruce and Silvia Bowen (property owners)
November 1, 2025

- a. *The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;*
 - i. While the intent of the code is to maintain a 60ft setback, we are requesting to encroach 20ft into the front setback.
 - ii. This encroachment should not cause an additional reduction in tree canopy. In fact, it will likely improve canopy coverage by reducing disturbance in the backyard. In addition, because of the reduced excavation, it will reduce land disturbance.
 - iii. This design is more modern and more energy efficient home. The existing home was built in 1968 – light insulation, single pane windows, etc. Encroaching into the front setback will not disturb the visual aesthetics of the neighborhood. The new home will blend it with the neighborhood homes.
- b. *The variance if granted will not be detrimental to the public safety, health or welfare of the public or injurious to other properties;*
 - i. The encroachment into the setback will not be detrimental to the public safety, health or welfare. The house will be built to modern standards and building codes and will be safer for the public. The encroachment into the front setback will not impact traffic flow, pedestrian flow, public safety movement, etc.
 - ii. The adjacent properties to the east and west would not be negatively impacted. The side setbacks are not being encroached.
- c. *The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;*
 - i. The extreme contours and culvert easement are unique to this property. As stated in the *Letter of Intent*, these portions make up 46.6% of the property and are either unbuildable or very difficult to build on. The property is very unique.
- d. *Because of the particular physical surroundings, shape, size or topographical conditions of the specific property involved, an extraordinary hardship would result as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.*
 - i. As stated in the *Letter of Intent*, the extreme contours and culvert easement create an extraordinary hardship to build. The back on the house would be close to the steep drop leaving very little in the way of a backyard. Additionally, there would be large retaining walls (below the blue line in the 3D rendering) creating cost and additional engineering efforts.
- e. *The variance requested is the minimum necessary to accomplish the development or building.*
 - i. The 20ft encroachment was determined in consultation with the architect, and landscape architect. We began the planning portion of this project intending to work within the 60 ft setback, but as we progressed and identified the many retain walls and the extremely high foundation walls it became obvious that we need to encroach 20 feet into the front setback.
- f. *In the case of an amendment to a buffer or setback required by this Code, the variance application shows how equal or greater protection will be achieved of the adjacent property or natural resource affected by the proposed development, should the variance be granted; and*
 - i. We are not requesting to amend the buffer or setback. We are requesting a variance for the specific property to encroach into the front setback. The adjacent properties to the east and west would not be negatively impacted. The side setbacks are not being encroached.

- ii. Additionally, on the same street, there are several houses noted in the *Letter of Intent* that encroach much more on the front setback. These properties are visually appealing and do not detract from the neighborhood aesthetics.
- g. *Such conditions are not the result of action or inaction of the current property owner;*
 - i. the property owners affirm that the culvert easement existed when the property was purchased in 1994. In addition, the property owners have not changed the contours and steepness of the property. The conditions of the property are not the results of action or inaction of the current owners.

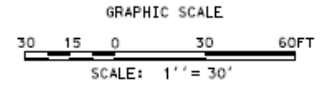
Survey of existing



VICINITY MAP
NOT TO SCALE

LEGEND

IFF	IRON PIN FOUND	⊗	CLEANOUT
○	IRON PIN SET (1/2" REBAR)	-W-	WATER MAIN
LL	LAND LOT	⊕	WATER METER
LLL	LAND LOT LINE	⊕	WATER VALVE
⊕	MANHOLE	⊕	FIRE HYDRANT
FOB	POINT OF BEGINNING	-G-	GAS LINE
R/W	RIGHT-OF-WAY	-FO-	FIBER OPTIC
N/F	NOW OR FORMERLY	-T-	UNDERGROUND TEL.
BSL	BUILDING SETBACK LINE	-UE-	UNDERGROUND ELEC.
⊕	JUNCTION BOX	⊕	OVERHEAD ELEC.
⊕	DROP INLET	⊕	UTILITY POLE
⊕	DOUBLE WING CATCH BASIN	⊕	SKN
⊕	HEADWALL	⊕	HARDWOOD
⊕	SINGLE WING CATCH BASIN	⊕	PINE
---	STORM LINE		
DE	DRAINAGE EASEMENT		
SS	SANITARY SEWER LINE		
SSC	SANITARY SEWER EASEMENT		



This plat is a retracement of an existing parcel of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The record information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDING OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OF REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Steven P Griggs

7-10-25






SANDY SPRINGS
COMMUNITY DEVELOPMENT

AUTHORIZATION FORM – PART I

A- The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the Authorization Form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this Application.	
Owner's name: <u>Bruce Bowen</u>	Sworn and subscribed before me this
Address: <u>870 Edgewater Dr</u>	<u>29</u> th day of <u>October</u> 20 <u>25</u>
City, State, Zip Code: <u>Atlanta GA 30328</u>	Notary public: <u>T Pavlova</u>
Email address: [REDACTED]	Seal: 
Phone number: [REDACTED]	
Owner's signature: <u>[Signature]</u>	
Commission expires: <u>December 08, 2028</u>	

B- If the Applicant is *not* the owner of the subject property:
Fill out the following section, check the appropriate statement and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or	
<input type="checkbox"/> He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or	
<input type="checkbox"/> He/she has an estate of years which permits the Applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	
City, State, Zip Code:	
Email address:	
Phone number:	
Applicant's signature:	
Commission expires:	

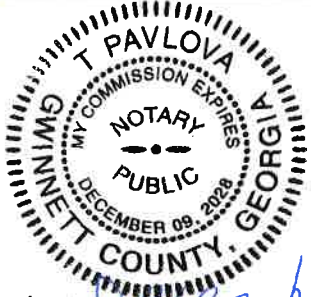


SANDY SPRINGS
COMMUNITY DEVELOPMENT

Failure to complete any of these requirements may result in an administrative hold, and the case will be rescheduled to a future filing cycle.

AUTHORIZATION FORM – PART I

The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the Authorization Form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this Application.	
Owner's name: <u>Silvia Bowen</u>	Sworn and subscribed before me this <u>29</u> th day of <u>October</u> 20 <u>25</u>
Address: <u>870 Edgewater Drive</u> <u>Atlanta</u>	
City, State, Zip Code: <u>Sandy Springs, GA 30328</u>	Notary public: <u>T Pavlova</u>
Email address: [REDACTED]	Seal: 
Phone number: [REDACTED]	
Owner's signature: <u>Silvia Bowen</u>	
Commission expires: <u>December 09, 2028</u>	

A- If the Applicant is *not* the owner of the subject property:

Fill out the following section, check the appropriate statement and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an estate of years which permits the Applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	<u> </u> th day of <u> </u> 20 <u> </u>
City, State, Zip Code:	Notary public:
Email address:	Seal:
Phone number:	
Applicant's signature:	

PARCEL ALT ID 17-0168-0002-008-3 2271469

CARD NO. 1 OF 1 TAX YEAR 2025 TIEBACK FIELD REVIEW FLAG

MAP/ROUTE

TAX CODE ZONING R2A TAX DIST 59 SANDY SPRINGS CITY CODE 59

ADDRESS 870 EDGEWATER DR NW

MISC.IMPROV 0

NEIGHBORHOOD 7708 RESTRICTIONS /

LAND USE CODE 101 -----OWNER INFORMATION-----

LIVING UNITS 1 BOWEN J BRUCE & SILVIA B DATE TYPE PRICE SRC VAL

TOTAL OBY & MISC IMPROV. VALUE 0

CLASS R3 GROSS BUILDING SUMMARY DESC VALUE 0

BOOK/PAGE:

----- PROPERTY FACTORS -----

TOPO 1 / / LEVEL / ROLLING /

UTILITY 1 / / / /

STR/RDS 1 / / / /

FRT 9 08/08/25 7 221

LOC 6 11/09/23 115 221

PARKING TYPE 3 QUANTITY 2 SPOT LOC PROXIMITY 3 04/14/90 4 153

AVAIL ON AND OFF STRE/ADEQUATE / ON SITE

----- BUILDING PERMIT RECORD -----

DATE NUMBER AMOUNT PURPOSE O/C NOTES

NOTE CD:

NOTE CD:

NOTES:

NOTES:

NOTES:

NOTES:

NOTES:

----- L A N D D A T A ----- C A L P T A B L E -----

TY AC/SQFT/UNIT BASE BASE INCR CHG

PE LN CD FRONT DEPTH PRICE INFL-FAC SIZE CLASS RATE /DECR RSN LAND-VAL

S 1 1 34,920 90 4 -10 27,000 .75 .25 299430

PRIMARY SITE ADJ FACTOR (CA14) 14.9664 .25

GROSS LN CD VALUE IN FL- FAC LAND-VAL
TOTAL ACRES .8017 TOTAL LAND-VALUE 299,400
TOTAL SIZE .0000 ACRES N/MDL 1 ZONE 40 LOC 0 UTILITY 1 STREET 1
LAND ADJ ADJ FACTOR (CA11) 1.0000 ADJ FACTOR (AA44) 1.0000



PARCEL ALT ID 17-0168-0002-008-3 2271469

CARD NO. 1 OF 1 TAX YEAR 2025 TIEBACK FIELD REVIEW FLAG

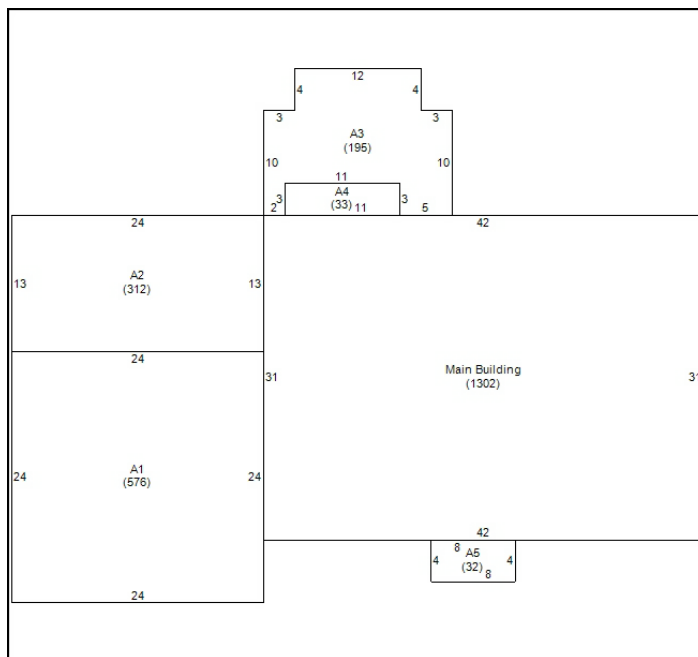
G.F.L.A. 1,302
S.F.L.A. 3,179

MAP/ROUTE

DWELLING COMPUTATIONS
BASE PRICE 163,134
BASEMENT 3 PART -6,587
HEAT 4 CENTRAL W/P 6,175
PLUMBING (TOT= 17 11,097
ATTIC 1 NONE) 0
OTHER FEATURES 4,624

*SUB TOTAL 178,440
GRADE FACTOR B+ 1.35
C & D FACTOR X 0%
CDU GD
BASE RCN/SF 137.05 178,440
USER FACTOR 1.00
USER AMOUNT 0
ADDITIONS RCNLD 38,110
PERCENT GOOD X 87%
FUNCTIONAL DEP X %
ECONOMIC DEP X %
RCNLD PER SF 60.82 193,350
PERCENT COMPLETE X 100%
DWELLING FACTOR X 2.8602
SUB TOTAL 553,020

O.B. & Y. VALUE 0
GROSS IMPRV. 0
TOTAL CARD VALUE 553,020
CONDO BASE VALUE 0
CONDO ADJ. VALUE 0



SKETCH VECTORS
A0CU31X42
A1D6CL24X24
A2U18CL24X13
A3U31CU10R3U4R12D4R3D10L5U3L11D3L2
A4U31R2CU3X11
A5R16CR8X4

OBV VECTORS

PARCEL SUMMARY COST VALUE
TOTAL LAND VALUE 299,400
TOTAL BLDG VALUE 553,000
TOTAL COST VALUE 852,400

Table with columns: LINE, LOW, 1ST, 2ND, 3RD, AREA, YRBLT, EFFYR, GRADE, CDU, %COMP, RSN, VALUE. Contains data for building additions.

OTHER BUILDING & YARD IMPROVEMENTS
CURRENT LAND 299,400 BUILDING 553,000 TOTAL 852,400
ASSESSED LAND 0 BUILDING 0 TOTAL 0
REVIEW CODE 1 COST APPROACH REVIEW REASON
REVIEW DATE 09-NOV-23 REVIEWER ID 221
ESTIMATE LAND BUILDING TOTAL
REVIEW CODE REVIEW REASON
REVIEW DATE REVIEWER ID

DATA MAILER: SENT 00/00/00 RECEIVED 00/00/00 MAINTAINED ON 20-AUG-24



consultant

SPG SURVEYING, LLC

sub-consultant

seal

BRUCE & SILVIA BOWEN
870 Edgewater Drive NW
Sandy Springs, GA 30328
EMAIL: jbrucebowen@gmail.com

client

BOWEN RESIDENCE
870 EDGEWATER DR. NW
SANDY SPRINGS GA 30328

RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

revisions

date 08/07/25

date

project #

drawn by

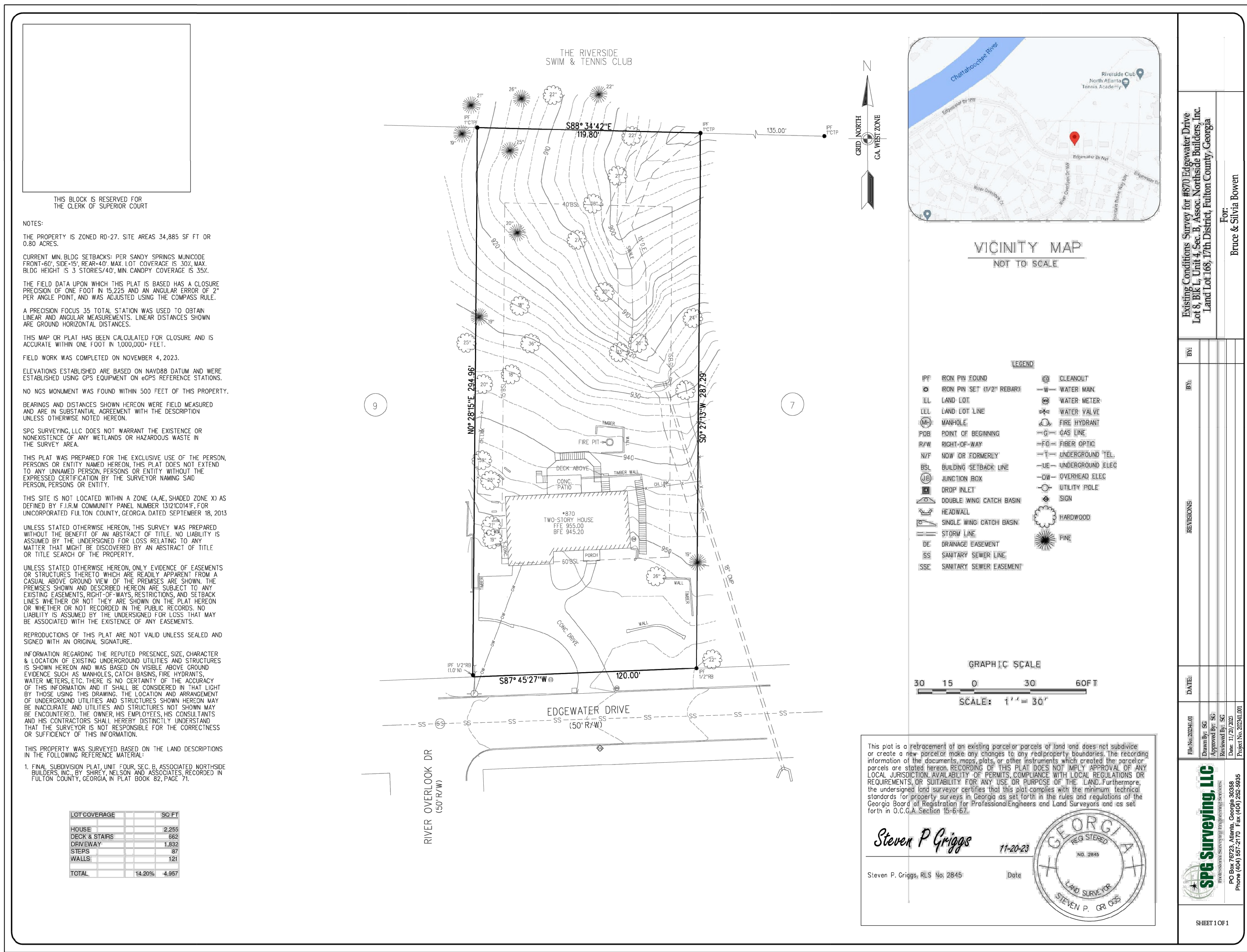
SITE SURVEY

sheet title

V100

sheet #

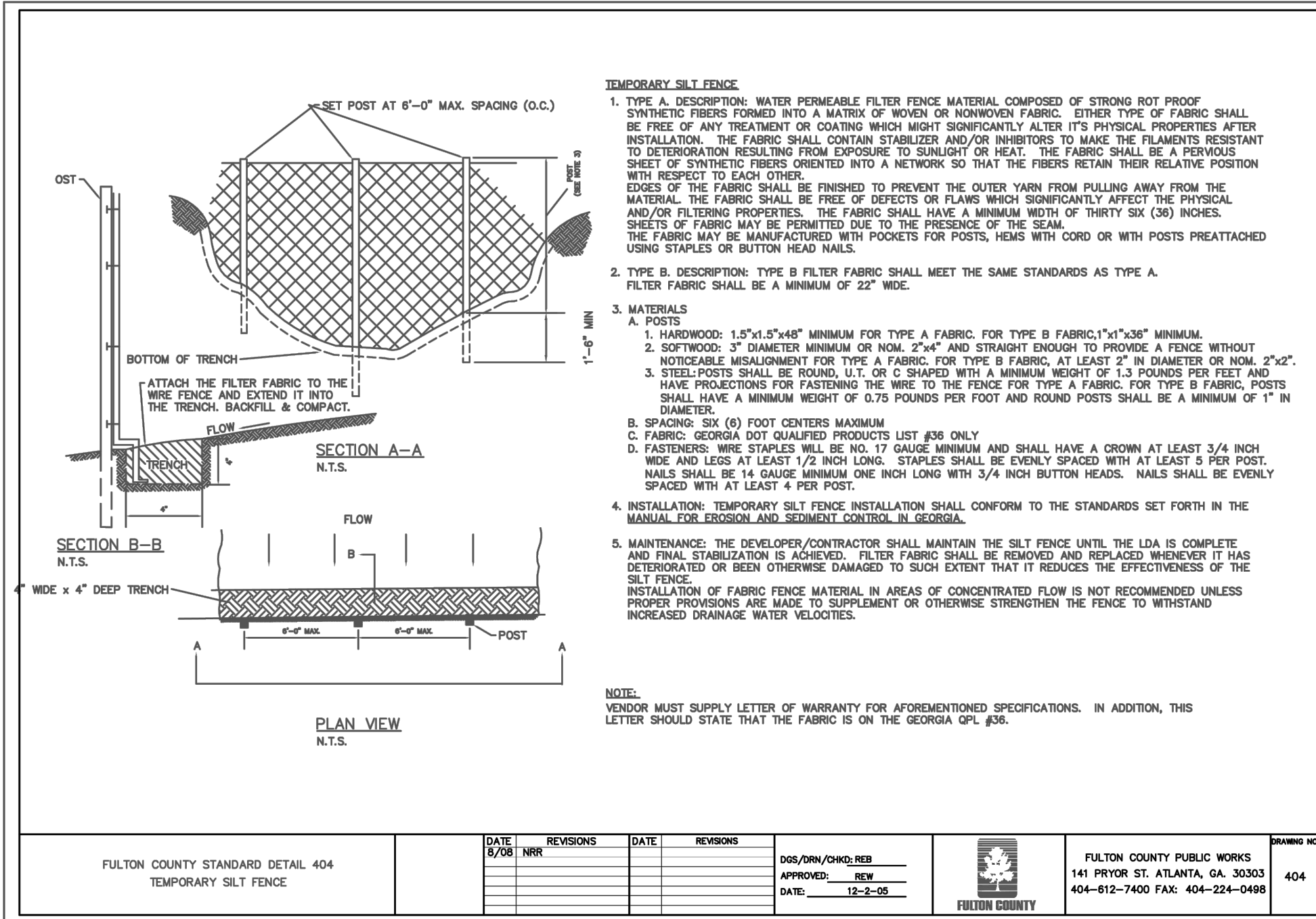
NOTE:
The survey data presented here is provided by third party sources. Love Land Design, LLC is not responsible for the accuracy or content of this survey.



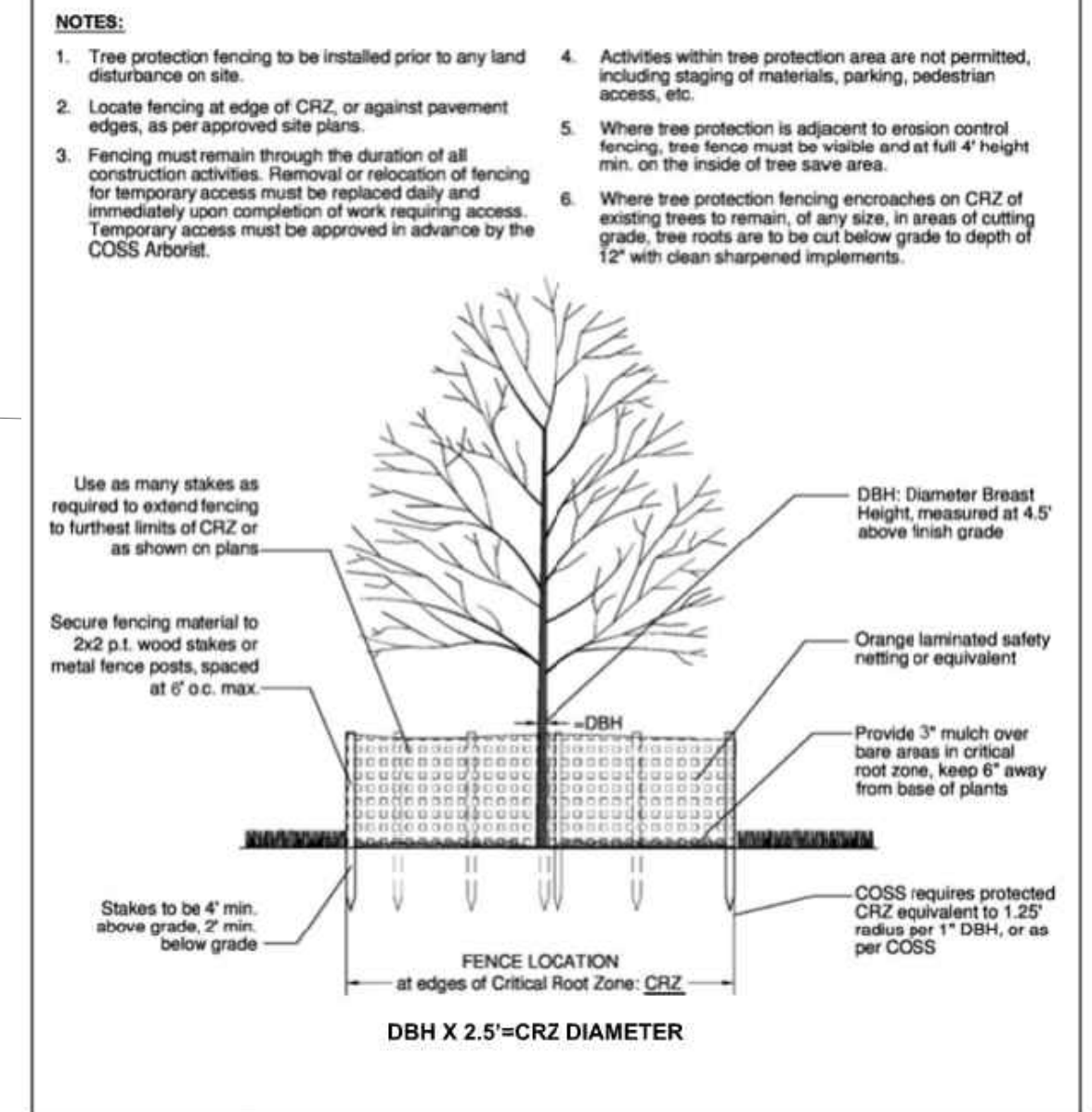
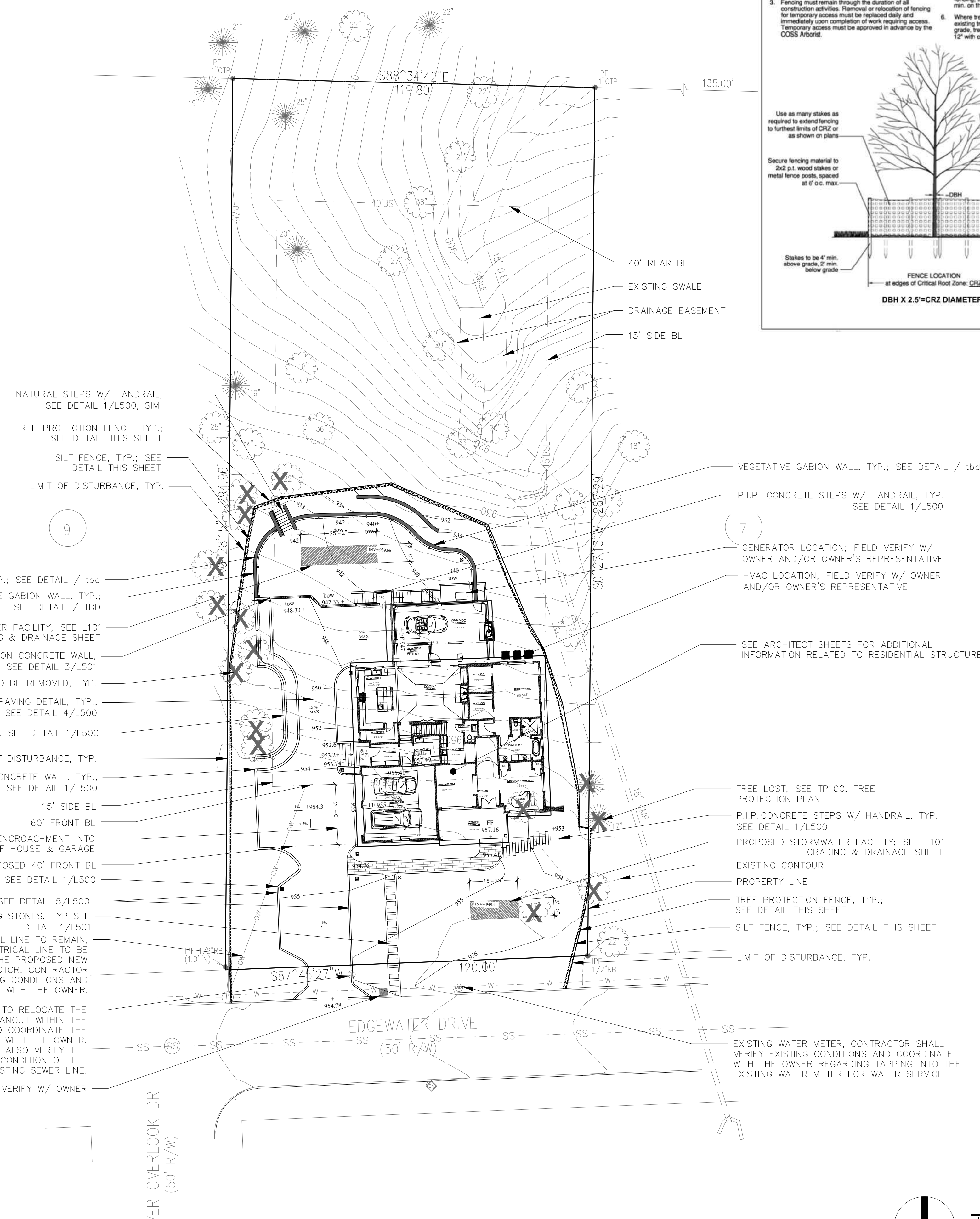
UTILITES PROTECTION CENTER

GA. 770-623-4344 (811)

CALL THREE WORKING DAYS BEFORE YOU DIG
IT'S THE LAW
UPC TICKET#



THE RIVERSIDE SWIM & TENNIS CLUB



LOT COVERAGE

ZONING RD-27

TOTAL LOT = 34,885 SF / .80 ACRES

EXISTING LOT COVERAGE:

- DECK & STAIRS = 662 sf.
- HOUSE = 2,255 sf.
- CONCRETE DRIVEWAY = 1645 sf.
- STEPS = 87 sf.
- WALLS = 121 sf.

EXISTING TOTAL = 4957 sf.
EXISTING LOT COVERAGE = 14.2 %

PROPOSED LOT COVERAGE:

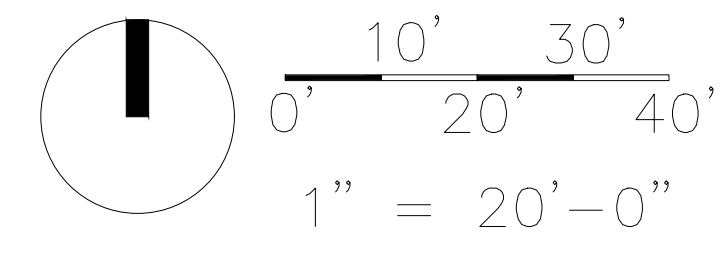
- HOUSE = 4430 sf.
- CONCRETE DRIVEWAY = 3091 sf.
- CONCRETE SITE STAIRS & WALLS = 257.5 sf.
- STEPPING STONES = 142.5 sf.
- DECK = 163 sf.
- CURBS = 156 sf.
- CONCRETE PAVERS = 233 sf.

PROPOSED TOTAL = 8473 sf.
PROPOSED LOT COVERAGE = 24.3 %

FLOOR AREA RATIO = .13

TOTAL AREA OF DISTURBANCE = 17522 SF / .4 ACRE

NOT RELEASED FOR CONSTRUCTION / FOR REVIEW ONLY



LOVE

landscape architecture

LOVE LAND DESIGN LLC
PO BOX 252
PINE LAKE GA 30072
OFFICE: 770-810-5545

consultant

sub-consultant



seal

BRUCE & SILVIA BOWEN
870 Edgewater Drive NW
Sandy Springs, GA 30328
EMAIL: jbrucebowen@gmail.com

client

BOWEN RESIDENCE
870 EDGEWATER DR. NW
SANDY SPRINGS GA 30328

RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

revisions

08/21/25

date

project #

LUKE LOVE

drawn by

SITE PLAN

sheet #

L100

sheet #

A NEW HOME FOR
 BRUCE & SILVIA BOWEN
 870 EDGEWATER DRIVE NW
 SANDY SPRINGS GEORGIA 30328

CITY OF SANDY SPRINGS
 ZONING REVIEW DECEMBER 05, 2025



CODE COMPLIANCE INFORMATION

THE CURRENT STATE MINIMUM STANDARD CODES

THE FOLLOWING ARE THE CURRENT STATE MINIMUM STANDARD CODES FOR CONSTRUCTION AS ADOPTED BY THE CITY OF SANDY SPRINGS BASED ON INFORMATION SUPPLIED BY DCA/GEORGIA.

CURRENT MANDATORY CODES AS ADOPTED BY CITY OF SANDY SPRINGS/DCA GEORGIA :

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL FIRE CODE, 2018 EDITION
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- NATIONAL ELECTRICAL CODE, 2023 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS

FOR INFORMATION AND QUESTIONS REGARDING THE LIFE SAFETY CODE (NFPA 101), IFC GEORGIA AMENDMENTS OR THE GEORGIA ACCESSIBILITY CODE PLEASE CONTACT THE STATE FIRE MARSHAL'S OFFICE.

CURRENT PERMISSIVE CODES AS ADOPTED BY DCA

- DISASTER RESILIENT BUILDING CODE IBC APPENDIX
- DISASTER RESILIENT BUILDING CODE IRC APPENDIX
- INTERNATIONAL PROPERTY MAINTENANCE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- INTERNATIONAL EXISTING BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- NATIONAL GREEN BUILDING STANDARD, 2008 EDITION, WITH GEORGIA AMENDMENTS

PLEASE NOTE: THERE ARE GEORGIA AMENDMENTS TO THE CODES, ABOVE. PLEASE CONTACT THE CONSTRUCTION CODES AND INDUSTRIALIZED BUILDINGS SECTION FOR MORE INFORMATION CONCERNING THESE AMENDMENTS.

PROJECT TEAM

ARCHITECT

ALAN CLARK ARCHITECTS, LLC
 CONTACT: ALAN P. CLARK, AIA
 ALAN@ALANCLARKARCHITECTS.COM
 CELL (404) 219-4642

SITE PLAN/LANDSCAPE ARCHITECT

LOVE LANDSCAPE ARCHITECTURE
 LUKE LOVE, PLA
 LOVE LAND DESIGN, LLC
 OFFICE (770) 810-5545
 CELL (917) 340-8944

STRUCTURAL ENGINEER

STABILITY ENGINEERING
 CONTACT: JAMES BREEDEN, PE
 ASSOCIATE PRINCIPAL & PROJECT MANAGER
 1376 CHURCH STREET, SUITE #200
 DECATUR, GA 30030
 EMAIL jbreeden@stabilityengineering.com
 PHONE 404 377-9316 EX 117
 CELL 404 394-6848

GENERAL BUILDING CONTRACTOR

TBD

OWNER OF RECORD

BRUCE & SILVIA BOWEN
 870 EDGEWATER DRIVE NW
 SANDY SPRINGS, GEORGIA 30328

BRUCE (EMAIL) jbrucebowen@gmail.com
 SYLVIA (EMAIL) silviabowen@gmail.com

INDEX OF DRAWINGS

ARCHITECTURE (BY ALAN CLARK ARCHITECTS, LLC)

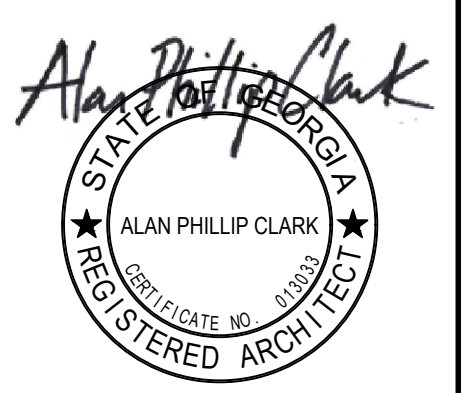
- T-1 COVER PAGE, CODE COMPLIANCE, PROJECT TEAM, INDEX
- T-2 GENERAL BUILDING NOTES & ARCHITECTURAL SYMBOLS
- C-1 EXISTING SURVEY (BY OTHERS)
- C-2 SITE PLAN
- A-0 BASEMENT FLOOR PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 PROPOSED ROOF PLAN
- A-4 FRONT EXTERIOR ELEVATION
- A-5 DRIVEWAY SIDE EXTERIOR ELEVATION
- A-6 REAR EXTERIOR ELEVATION
- A-7 SIDE EXTERIOR ELEVATION

STRUCTURAL ENGINEERING (BY STABILITY ENGINEERING)

- S0.0 GENERAL STRUCTURAL NOTES
- S0.1 GENERAL STRUCTURAL NOTES
- S1.0 FOUNDATION PLAN
- S1.1 MAIN FLOOR FRAMING PLAN
- S1.2 SECOND FLOOR FRAMING PLAN
- S1.3 CEILING FRAMING PLAN (SECOND FLOOR)
- S1.4 ROOF FRAMING PLAN
- S2.0 SECTION DETAILS
- S2.1 SECTION DETAILS

REVISIONS	DATE

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 ALAN PHILIP CLARK ARCHITECTS, LLC
 AND IS NOT
 TO BE REPRODUCED OR COPIED IN
 WHOLE OR IN PART. THE DIMENSION
 OF WHICH ARE 24" X 36".
 AND SITE SPECIFICALLY IDENTIFIED HEREIN
 AND IS NOT TO BE USED ON ANY OTHER
 PROJECT WITHOUT WRITTEN PERMISSION
 FROM THE ARCHITECT. THE CONTRACTOR
 IS RESPONSIBLE FOR VERIFYING ALL FIELD
 MEASUREMENTS, QUANTITIES, DIMENSIONS
 AND RELATED FIELD CONSTRUCTION
 CRITERIA.
 NOTE TO GENERAL CONTRACTOR:
 ANY DISCREPANCIES, INCONSISTENCIES
 OR AMBIGUITIES FOUND BETWEEN THE
 DRAWINGS, SPECIFICATIONS & SITE
 CONDITIONS SHALL BE IMMEDIATELY
 REPORTED TO THE ARCHITECT IN WRITING.
 THE ARCHITECT WILL PROMPTLY CORRECT
 THE SAME IN WRITING. WORK DONE BY THE
 CONTRACTOR AFTER DISCOVERY OF SUCH
 DISCREPANCIES, INCONSISTENCIES OR
 AMBIGUITIES SHALL BE DONE AT THE
 GENERAL CONTRACTOR'S RISK.



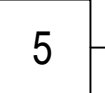
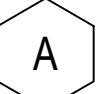


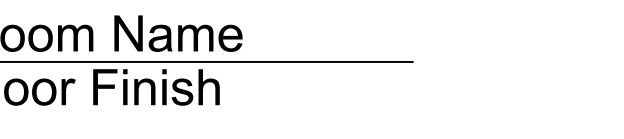
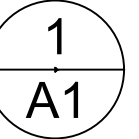
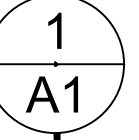
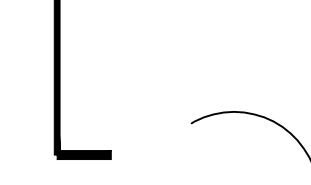
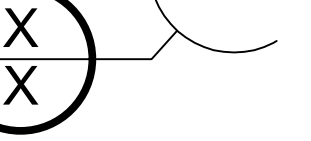
ALAN CLARK ARCHITECTS
 WWW.ALANCLARKARCHITECTS.COM
 @ALANCLARKARCHITECTS [INSTAGRAM]

a new house for
 BRUCE & SILVIA BOWEN
 870 EDGEWATER DRIVE NW
 SANDY SPRINGS GEORGIA 30328

DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	TITLE SHEET

T-1
 SHEET NUMBER

ARCHITECTURAL SYMBOLS

	Wall Type
	Window Type
	Door Type
	Elevation height
	Room Name (and Finish Material)
	Elevation designation
	Section designation
	Detail bubble
	Drawing tag

ZONING INFORMATION

PER CITY OF SANDY SPRINGS
WEBSITE / GIS
<https://data-coss.opendata.arcgis.com/apps/85a1ed8dae7c4b779e9c1e78edf51e65/explore>

ADDRESS 870 EDGEWATER DR
ZONING DISTRICT RD-27
LOT COVERAGE
PERCENTAGE 30%

PARCEL ID 17 016800020083
PRIMARY SETBACK 60 FEET
REAR SETBACK 40 FEET
SIDE SETBACK 15 FEET
SIDE SETBACK (IF)
CORNER LOT 30 FEET

CONSTRUCTION TYPE:
WOOD FRAME, WITH BRICK AND STONE BASE, WOOD SIDING FINISH

GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL
 - DO NOT SCALE DRAWINGS**
 - THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.
 - IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
 - DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING, UNLESS NOTED OTHERWISE.
 - IT IS THE RESPONSIBILITY OF THE OWNER AND/ OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
 - ANY DISCREPANCIES CONTAINED WITHIN THE FOLLOWING DRAWINGS/DOCUMENTS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.
 - ANY DEVIATIONS FROM THE FOLLOWING DOCUMENTS SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.
 - ALL STRUCTURAL MEMBERS TO BE VERIFIED, DESIGNED, AND SIGNED AND SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE WHICH THE PROJECT IS BEING CONSTRUCTED.
 - ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO THE EXTERIOR ELEMENTS TO BE PRESSURE TREATED.
 - ALL SHEATHING AND DECKING USED ON EXTERIOR ENVELOPE TO BE OF "EXTERIOR GRADE"
 - CERTIFIED U.L. FIRE SEPARATION/RATED ASSEMBLIES TO BE USED WHERE REQUIRED BY CODE.
 - G.C. TO VERIFY & ADHERE TO FIREPLACE MANUFACTURER AND CODE REQUIREMENTS FOR MIN. CLEARANCES OF COMBUSTIBLE MATERIALS AROUND FIREPLACE, INCLUDING, BUT NOT LIMITED TO, FRAMING, SURROUNDING MATERIAL, HEARTH, & FLUE.
 - ALL TOILETS MUST HAVE VENTILATION FAN ABOVE IN CEILING IN ACCORDANCE WITH GOVERNING BUILDING CODE.
 - ALL BEDROOMS MUST HAVE SMOKE DETECTORS LOCATED OUTSIDE BEDROOM DOOR IN ACCORDANCE W/ GOVERNING BUILDING CODE.
 - TEMPERED GLASS TO BE USED IN DOORS & WINDOWS AS REQUIRED BY GOVERNING BUILDING CODE. G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO FINAL ORDER.
 - EXTERIOR PORCHES SHOULD BE SLOPED 1/8" PER FOOT MINIMUM TO ALLOW FOR DRAINAGE OF WATER & TO PREVENT PONDING OF WATER.
 - G.C. TO VERIFY W/ ELEVATOR AND/OR LIFT MANUFACTURING COMPANIES REQUIREMENTS INCLUDING BUT NOT LIMITED TO STRUCTURAL & ELECTRICAL, PERTAINING TO SPECIFIED ELEVATOR/LIFT BEFORE CONSTRUCTION - IF G.C. SUBSTITUTES SPECIFIED ELEVATOR/LIFT FOR ANOTHER MANUF. AND/OR MODEL NOTIFY ARCHITECT IMMEDIATELY (BEFORE PROCEEDING) TO DISCUSS POSSIBLE IMPACT ON CONSTRUCTION DOCUMENTS.
 - IT IS RECOMMENDED THAT SPECIFICATIONS AND PLANS BE CONSIDERED AS COMPLIMENTARY. WHERE THE G.C. FINDS A DISCREPANCY BETWEEN THE TWO, THE G.C. SHOULD IMMEDIATELY CALL ANY/ALL DISCREPANCY (IES) TO THE ATTENTION OF THE ARCHITECT OR ENGINEER AND REQUEST THAT A WRITTEN CLARIFICATION BE ISSUED. WHERE THE ARCHITECT OR ENGINEER FINDS A DISCREPANCY, SAID DISCREPANCY SHOULD IMMEDIATELY BE CALLED TO THE ATTENTION OF THE G.C., CLARIFYING THE DISCREPANCY, AND ISSUE A WRITTEN CLARIFICATION OF THE REQUIREMENT.
- IF AN INSTANCE OF CONFLICT OCCURS, UNITED STATES CASE LAW GENERALLY SUPPORTS WRITTEN SPECIFICATIONS AS RULING OVER GRAPHIC INFORMATION.
- G.C. TO VERIFY GRADE AGAINST HOUSE/STRUCTURE SLOPES AWAY TO DRAIN WATER AWAY FROM STRUCTURE.
 - G.C. TO VERIFY MASONRY WEEP-HOLES @ 33" O.C., MAX.
 - G.C. TO USE METAL MASONRY TIES. G.C. TO VERIFY W/ STRUCTURAL 0.29 x 7/8" GALV. METAL TIES TO BE USED. EACH METAL TIE MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQUARE FEET WITH A MAXIMUM SPACING OF 16" O.C VERTICALLY AND 24" O.C. MAX. HORIZONTALLY.
 - G.C. TO VERIFY R-VALUES W/ LOCAL JURISDICTIONS AND GOVERNING CODES AND BE COMPLIANT WITH 2015 NEC CODE REQUIREMENTS AT A MINIMUM
 - G.C. TO VERIFY SOIL CONDITIONS BEFORE POURING FOUNDATION.
 - TYPICAL SLAB ON GRADE TO BE 4" P.I.P. CONCRETE SLAB W/ 6 X 6 X 1/4" W.W.F. OVER 6 MIL. POLY VAPOR BARRIER OVER 4" GRAVEL BED OVER COMPACTED SOIL. G.C. TO VERIFY WITH APPROVED STRUCTURAL BEFORE POURING SLAB.
 - ALL WINDOW & DOOR SHOP DRAWINGS REQUIRED TO BE REVIEWED & APPROVED BY ARCHITECT AND OWNER PRIOR TO PLACING ORDER.
 - G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO ORDERING.
 - G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF GUTTERS & DOWNSPOUTS PRIOR TO INSTALLATION.
 - G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF VENTS, INCLUDING BUT NOT LIMITED TO, DRYER VENTS / EXHAUST VENTS, WHICH ARE LOCATED ON EXTERIOR WALLS.
 - G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATION OF EXTERIOR LIGHTING PRIOR TO INSTALLATION OF JUNCTION BOXES.
 - G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATIONS OF INTERIOR AND EXTERIOR ELECTRICAL SWITCHES PRIOR TO INSTALLATION OF JUNCTION BOXES.
 - G.C. TO COORDINATE ELECTRICAL & PLUMBING REQUIREMENTS FOR APPLIANCES, INCLUDING, BUT NOT LIMITED TO REFRIGERATORS & FREEZERS, OVENS, STOVES, GRILLS, VENT HOODS, ICE MAKERS, AND DISHWASHERS.
 - G.C. TO VERIFY ALL STRUCTURAL MEMBERS NOTED IN ARCHITECTURAL DRAWINGS, INCLUDING, BUT NOT LIMITED TO STUDS, JOISTS, AND RAFTER SIZES AND SPACING, WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK IN QUESTION.
 - ALL EXTERIOR MATERIALS, COLORS, STAINS, ETC. TO BE SUBMITTED TO ARCHITECT & OWNER FOR REVIEW & APPROVAL, PRIOR TO FINAL ORDER & INSTALLATION. MATERIAL MOCK-UPS MIGHT BE NECESSARY FOR REVIEW& APPROVAL.
 - ALL SILLS & TOPS OF HEADER TRIM @ EXTERIOR WINDOWS TO SLOPE MIN. 5 DEGREES TO SHED WATER PROPERLY.
 - ALL WINDOW AND DOOR DIMENSIONS ON SCHEDULE DIMENSIONED TO SASH. IT IS THE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ROUGH OPENING SIZES AND REQUIREMENTS WITH THE CHOSEN WINDOW MANUFACTURER.
 - EACH ITEM OF MATERIAL AND EQUIPMENT SHALL EQUAL OR EXCEED THAT DESCRIBED OR INDICATED. THE CONTRACTOR IS HELD DIRECTLY RESPONSIBLE FOR ALL WORK DONE BY SUBCONTRACTORS.
 - NO VARIATIONS OR DEVIATIONS FROM THE DETAILS AS DRAWN ARE PERMITTED WITHOUT WRITTEN AUTHORIZATION OR AN ALTERNATE APPROVED DETAIL FURNISHED BY THE ARCHITECT OR OWNERS. UNLESS SPECIFICALLY STATED OTHERWISE, ALL MATERIALS PROVIDED UNDER THIS CONTRACT SHALL BE NEW AND FREE FROM DEFECTS.
 - ALL DIMENSIONS ARE WITNESSED TO THE OUTSIDE FACE OF CMU, OR STUD, CENTER OF COLUMNS, TOP OF STRUCTURAL CONCRETE SLAB OR MASONRY OPENINGS OF WINDOWS AND DOORS UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL DEVELOP A COMPLETE SCHEDULE FOR COMPLETION OF THE WORK. THIS SCHEDULE SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - FIELD VERIFY ALL DIMENSIONS.
 - GENERAL CONTRACTOR SHALL HOLD EXTERIOR GRADES A MINIMUM OF 6" BELOW FINISH FLOOR AND PROVIDE A 5% SLOPE OF GRADE AWAY FROM BUILDING EXTERIOR.
 - ALL CONCRETE SHALL BE PROPORTIONED TO DEVELOP 3000 PSI AT 28 DAYS AND HAVE A MAXIMUM SLUMP OF 4".
 - ALL LUMBER IN CONTACT WITH THE GROUND, CONCRETE, MASONRY, OR THE EXTERIOR SHALL BE PRESSURE TREATED.
 - PROVIDE WOOD BLOCKING SUPPORT FOR GRAB BARS, TOILET AND ACCESSORIES, AS REQUIRED BY EACH MANUFACTURER.
 - ALL DOOR AND WINDOW OPENINGS TO BE COUNTER FLASHED W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
 - CAULK WITH SEALANT AT ALL JOINTS AT DISSIMILAR MATERIALS. CAULK PANEL ENDS OF SIMILAR MATERIALS WHEN EXPOSED TO AIR INFILTRATION.
 - METAL FLASHING SHALL BE PROVIDED AT ALL VERTICAL MATERIAL TRANSITIONS W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
 - ALL FLOOR FINISH CHANGES TO OCCUR AT CENTERLINE OF DOORS (U.N.O.).
 - INSTALL ALL PRODUCTS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
 - IF ASBESTOS, TRANSITE, LEAD, MERCURY, PCBS, SILICA, MOLD, OR OTHER HAZARDOUS CONSTRUCTION MATERIAL(S) IS DISCOVERED DURING CONSTRUCTION, AND/OR DEMOLITION OF EXISTING WORK, CONTRACTOR TO NOTIFY ARCHITECT AND CLIENT IMMEDIATELY. CONTRACTOR TO CONSULT HAZARDOUS MATERIAL SPECIALIST FOR REMOVAL OR ENCAPSULATION UPON FINDING ABOVE CONSTRUCTION MATERIALS. COMPANIES INVOLVED IN ANY FACET OF A DEMOLITION, A RENOVATION, OR EVEN A CURRENT CONSTRUCTION PROJECT THAT FAIL TO GRASP THIS SALIENT FACT EXPOSE THEMSELVES TO LITIGATION FROM INJURED PARTIES AS A RESULT OF CONTACT (REAL OR PERCEIVED) WITH HAZARDOUS MATERIALS.
 - CONTRACTOR TO ENSURE ALL GFCI/AFCI CIRCUIT PROTECTION TO BE INSTALLED PER 2020 NEC CODE REQUIREMENTS. REFERENCE PLANS FOR LOCATIONS.

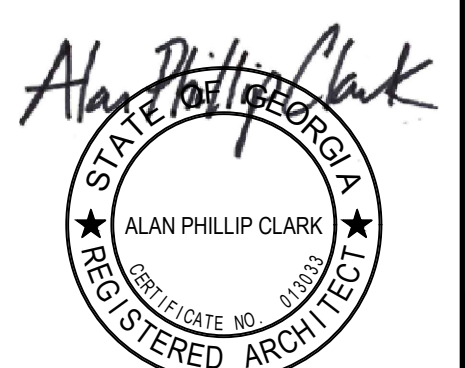
ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ABV	ABOVE
ARCH	ARCHITECTURAL / ARCHITECT
BYND	BEYOND
BTM	BOTTOM
B.O.	BOTTOM OF
BL	BUILD LINE
CLG	CEILING
CTR	CENTER
CL	CENTER LINE
CLO/ CLOS	CLOSET
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
COORD	COORDINATE
DEG	DEGREE
DIFF	DIFFERENCE/ DIFFERENT
DIM	DIMENSION(S)
DWG	DRAWING
DBL	DOUBLE
DN	DOWN
EA	EACH
EL	ELEVATION
ELEV	ELEVATOR
ELLIP	ELLIPTICAL
EXT	EXTERIOR
FIN	FINISH
FLR	FLOOR
GEN	GENERAL
GC	GENERAL CONTRACTOR
HGT	HEIGHT
INT	INTERIOR
LVL	LEVEL
MANUF	MANUFACTURER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
OC	ON CENTER
OW	OPEN WEB
PL	PLATE
PIP	POURED IN PLACE
PDR	POWDER ROOM
PT	PRESSURE TREATED
R	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REP	REPRESENTATIVE
REQ'D/ REQ	REQUIRED/ REQUIREMENTS
SECT	SECTION
SPECS	SPECIFICATIONS
ST/ STOR	STORAGE
STRUCT	STRUCTURAL/ STRUCTURE
THK	THICK
TBD	TO BE DETERMINED
TO	TOP OF
TYP	TYPICAL
T&G	TOUNGE & GROOVE
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC

*** IF ANY DISSIMILAR METALS ARE SHOWN AS BEING IN CONTACT WITH EACH OTHER, CONTRACTOR TO PROVIDE "MATERIAL" TO ELIMINATE GALVANIC ACTION.

REVISIONS DATE

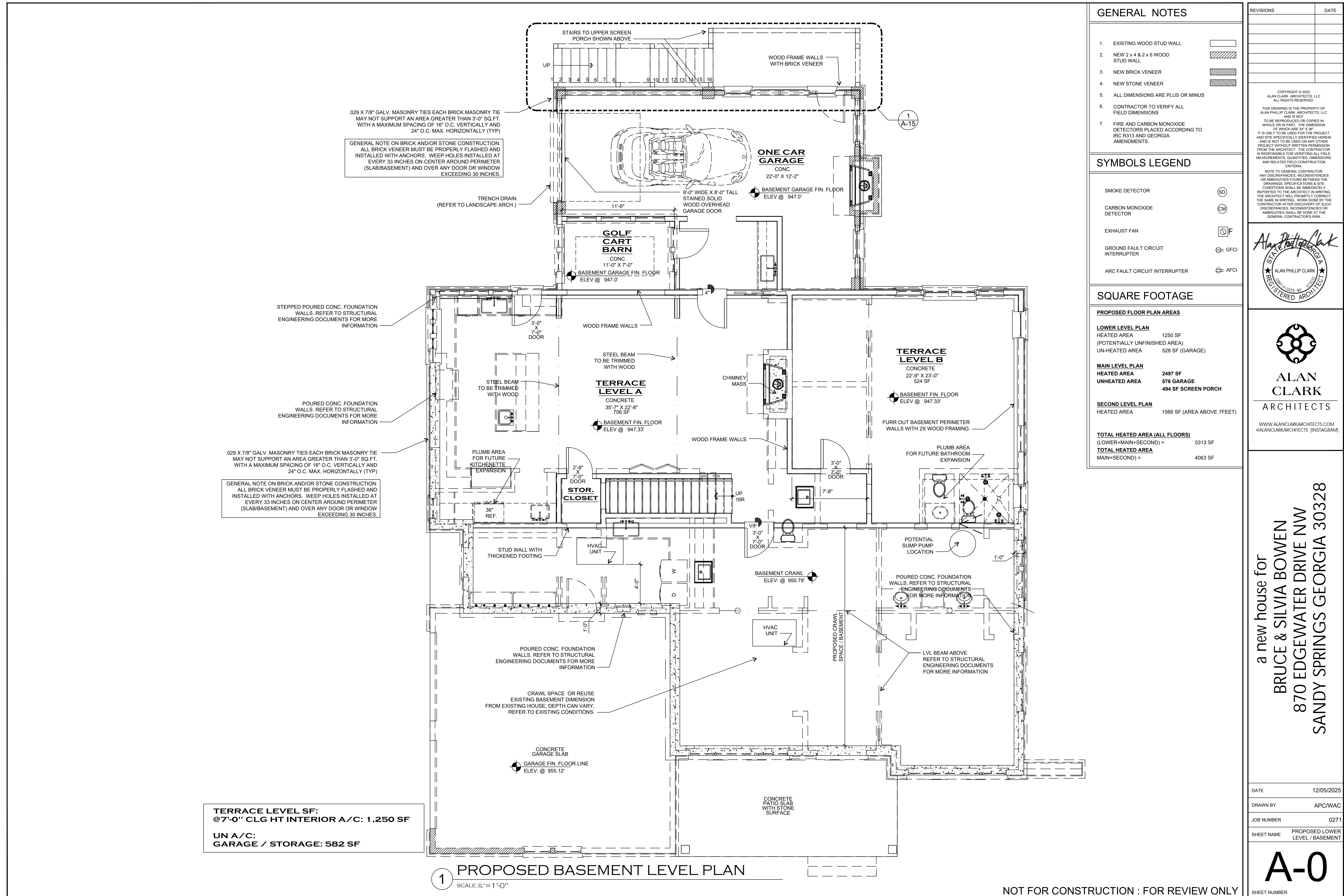
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REPORTED TO THE ARCHITECT IN WRITING.
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THE SAME IN WRITING. WORK DONE BY
THE CONTRACTOR AFTER DISCOVERY OF SUCH
DISCREPANCIES, INCONSISTENCIES OR
AMBIGUITIES SHALL BE DONE AT THE
GENERAL CONTRACTOR'S RISK.



a new house for
BRUCE & SILVIA BOWEN
870 EDGEWATER DRIVE NW
SANDY SPRINGS GEORGIA 30328

DATE 12/05/2025
DRAWN BY APC/WAC
JOB NUMBER 0271
SHEET NAME NOTES & SYMBOLS

T-2
SHEET NUMBER



GENERAL NOTES

1. EXISTING WOOD STUD WALL
2. NEW 2 x 4 & 2 x 6 WOOD STUD WALL
3. NEW BRICK VENEER
4. NEW STONE VENEER
5. ALL DIMENSIONS ARE PLUS OR MINUS
6. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
7. FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

- SMOKE DETECTOR (SD)
- CARBON MONOXIDE DETECTOR (CM)
- EXHAUST FAN (F)
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- ARC FAULT CIRCUIT INTERRUPTER (AFCI)

SQUARE FOOTAGE

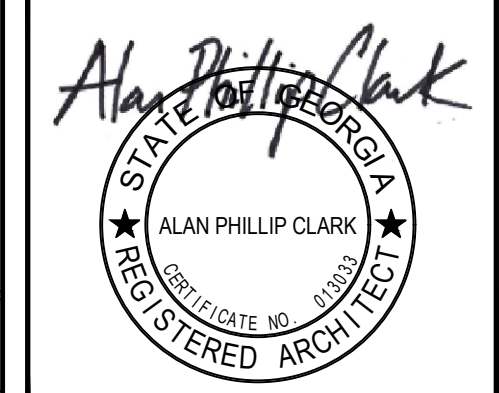
PROPOSED FLOOR PLAN AREAS	
LOWER LEVEL PLAN	
HEATED AREA	1250 SF
(POTENTIALLY UNFINISHED AREA)	
UN-HEATED AREA	528 SF (GARAGE)
MAIN LEVEL PLAN	
HEATED AREA	2497 SF
UNHEATED AREA	576 GARAGE
	494 SF SCREEN PORCH
SECOND LEVEL PLAN	
HEATED AREA	1566 SF (AREA ABOVE 7FEET)
TOTAL HEATED AREA (ALL FLOORS)	
(LOWER+MAIN+SECOND) =	5313 SF
TOTAL HEATED AREA	
MAIN+SECOND) =	4063 SF

REVISIONS	DATE

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NOTE TO GENERAL CONTRACTOR: ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS & SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT IN WRITING. THE ARCHITECT WILL PROMPTLY CORRECT THE SAME IN WRITING. WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.



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a new house for
BRUCE & SILVIA BOWEN
870 EDGEWATER DRIVE NW
SANDY SPRINGS GEORGIA 30328

DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	PROPOSED LOWER LEVEL / BASEMENT

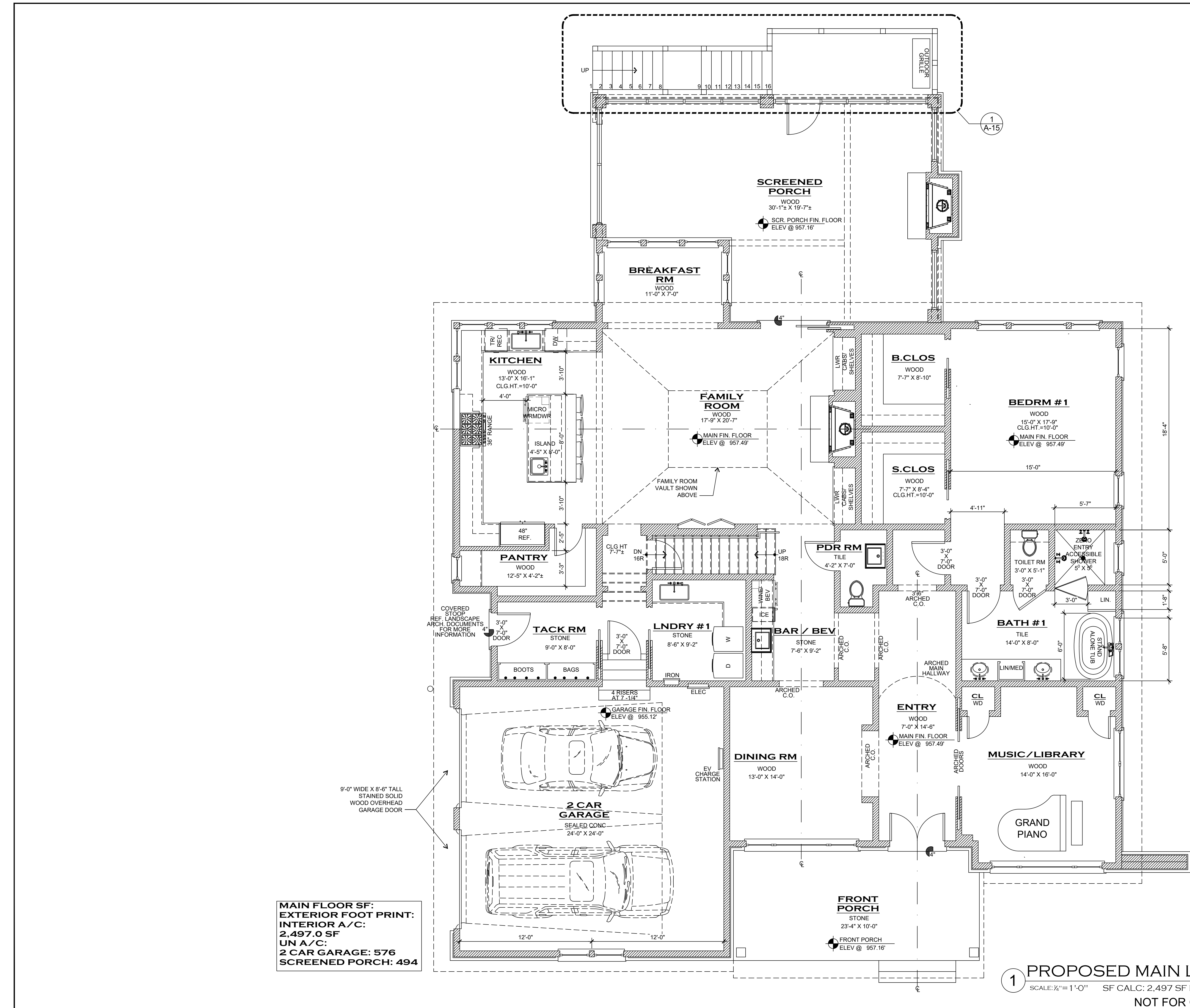
A-0
SHEET NUMBER

TERRACE LEVEL SF:
@7'-0" CLG HT INTERIOR A/C: 1,250 SF

UN A/C:
GARAGE / STORAGE: 582 SF

1 PROPOSED BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION : FOR REVIEW ONLY



MAIN FLOOR SF:
EXTERIOR FOOT PRINT:
INTERIOR A/C:
2,497.0 SF
UN A/C:
2 CAR GARAGE: 576
SCREENED PORCH: 494

GENERAL NOTES

1. EXISTING WOOD STUD WALL
2. NEW 2 x 4 & 2 x 6 WOOD STUD WALL
3. NEW BRICK VENEER
4. NEW STONE VENEER
5. ALL DIMENSIONS ARE PLUS OR MINUS
6. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
7. FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

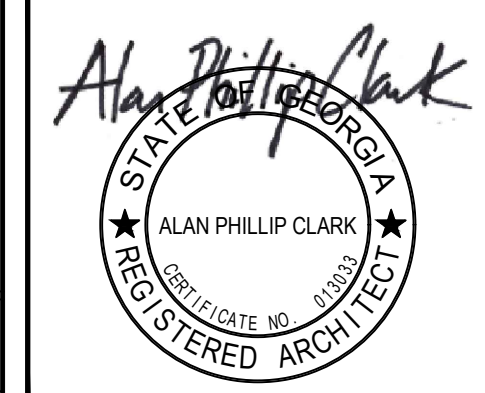
- SMOKE DETECTOR (SD)
- CARBON MONOXIDE DETECTOR (CM)
- EXHAUST FAN (F)
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- ARC FAULT CIRCUIT INTERRUPTER (AFCI)

SQUARE FOOTAGE

PROPOSED FLOOR PLAN AREAS	
LOWER LEVEL PLAN	
HEATED AREA	1250 SF
(POTENTIALLY UNFINISHED AREA)	
UN-HEATED AREA	528 SF (GARAGE)
MAIN LEVEL PLAN	
HEATED AREA	2497 SF
UNHEATED AREA	576 GARAGE
	494 SF SCREEN PORCH
SECOND LEVEL PLAN	
HEATED AREA	1566 SF (AREA ABOVE 7FEET)
TOTAL HEATED AREA (ALL FLOORS)	
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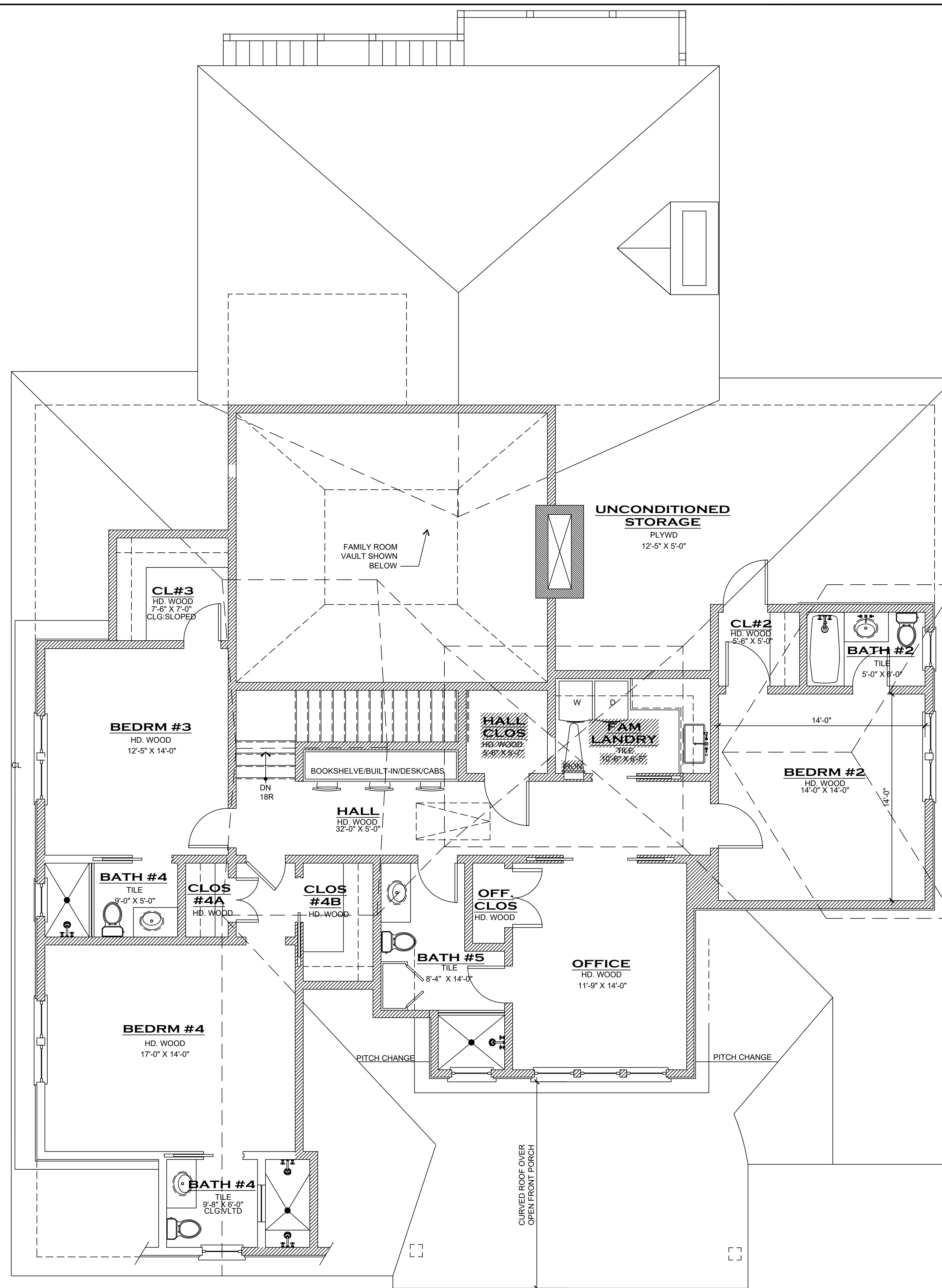
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a new house for
BRUCE & SILVIA BOWEN
 870 EDGEWATER DRIVE NW
 SANDY SPRINGS GEORGIA 30328

DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	PROPOSED MAIN FLOOR PLAN

A-1
 SHEET NUMBER

1 PROPOSED MAIN LEVEL PLAN
 SCALE: 1/4" = 1'-0" SF CALC: 2,497 SF HEATED AREA
 NOT FOR CONSTRUCTION : FOR REVIEW ONLY



SECOND FLOOR SF:
@ 7'-0" CLG HT INTERIOR
A/C:
1,566 SF
UN A/C:
HVAC/ATTIC:

1 PROPOSED SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0" SF CALC 1566 SF HEATED AREA

GENERAL NOTES

- EXISTING WOOD STUD WALL
- NEW 2 x 4 & 2 x 6 WOOD STUD WALL
- NEW BRICK VENEER
- NEW STONE VENEER
- ALL DIMENSIONS ARE PLUS OR MINUS
- CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
- FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

- SMOKE DETECTOR (SD)
- CARBON MONOXIDE DETECTOR (CM)
- EXHAUST FAN (F)
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- ARC FAULT CIRCUIT INTERRUPTER (AFCI)

SQUARE FOOTAGE

PROPOSED FLOOR PLAN AREAS

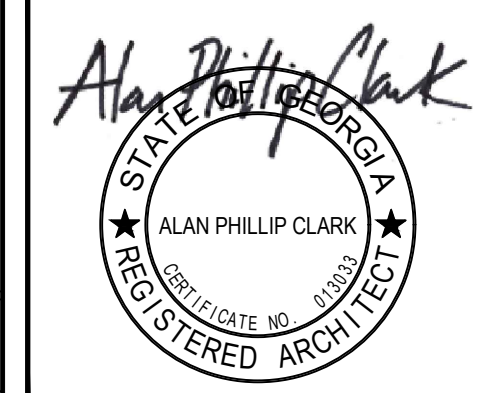
LOWER LEVEL PLAN	
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(POTENTIALLY UNFINISHED AREA)	
UN-HEATED AREA	528 SF (GARAGE)
MAIN LEVEL PLAN	
HEATED AREA	2497 SF
UNHEATED AREA	576 GARAGE 494 SF SCREEN PORCH
SECOND LEVEL PLAN	
HEATED AREA	1566 SF (AREA ABOVE 7FEET)
TOTAL HEATED AREA (ALL FLOORS)	
(LOWER+MAIN+SECOND) =	5313 SF
TOTAL HEATED AREA	
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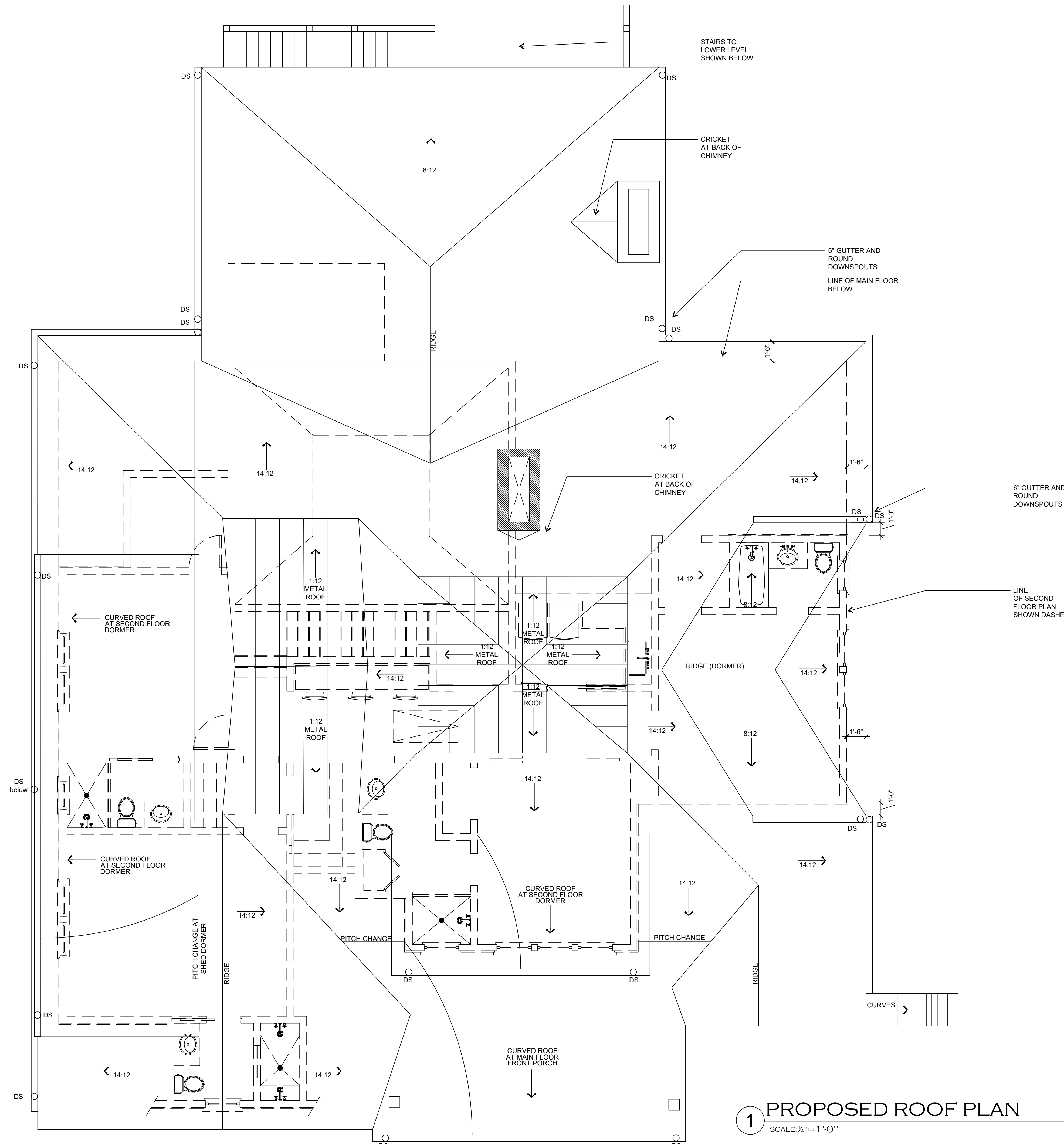
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DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	PROPOSED SECOND FLOOR PLAN

A-2
SHEET NUMBER



GENERAL NOTES	
1.	EXISTING WOOD STUD WALL
2.	NEW 2 x 4 & 2 x 6 WOOD STUD WALL
3.	NEW BRICK VENEER
4.	NEW STONE VENEER
5.	ALL DIMENSIONS ARE PLUS OR MINUS
6.	CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
7.	FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

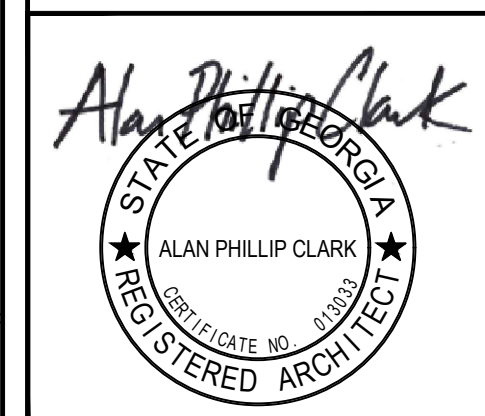
SYMBOLS LEGEND	
SMOKE DETECTOR	⊙ SD
CARBON MONOXIDE DETECTOR	⊙ CM
EXHAUST FAN	⊙ F
GROUND FAULT CIRCUIT INTERRUPTER	⊕ GFCI
ARC FAULT CIRCUIT INTERRUPTER	⊕ AFCI

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a new house for
BRUCE & SILVIA BOWEN
 870 EDGEWATER DRIVE NW
 SANDY SPRINGS GEORGIA 30328

DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	PROPOSED ROOF PLAN

A-3
 SHEET NUMBER

1 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

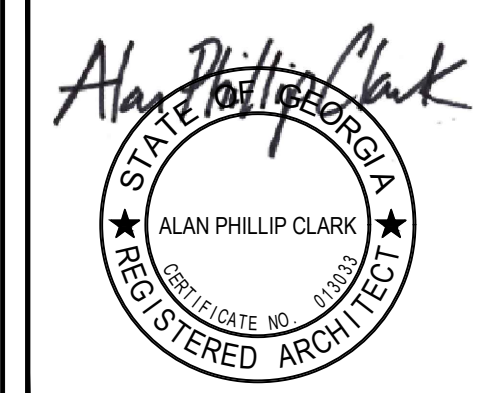
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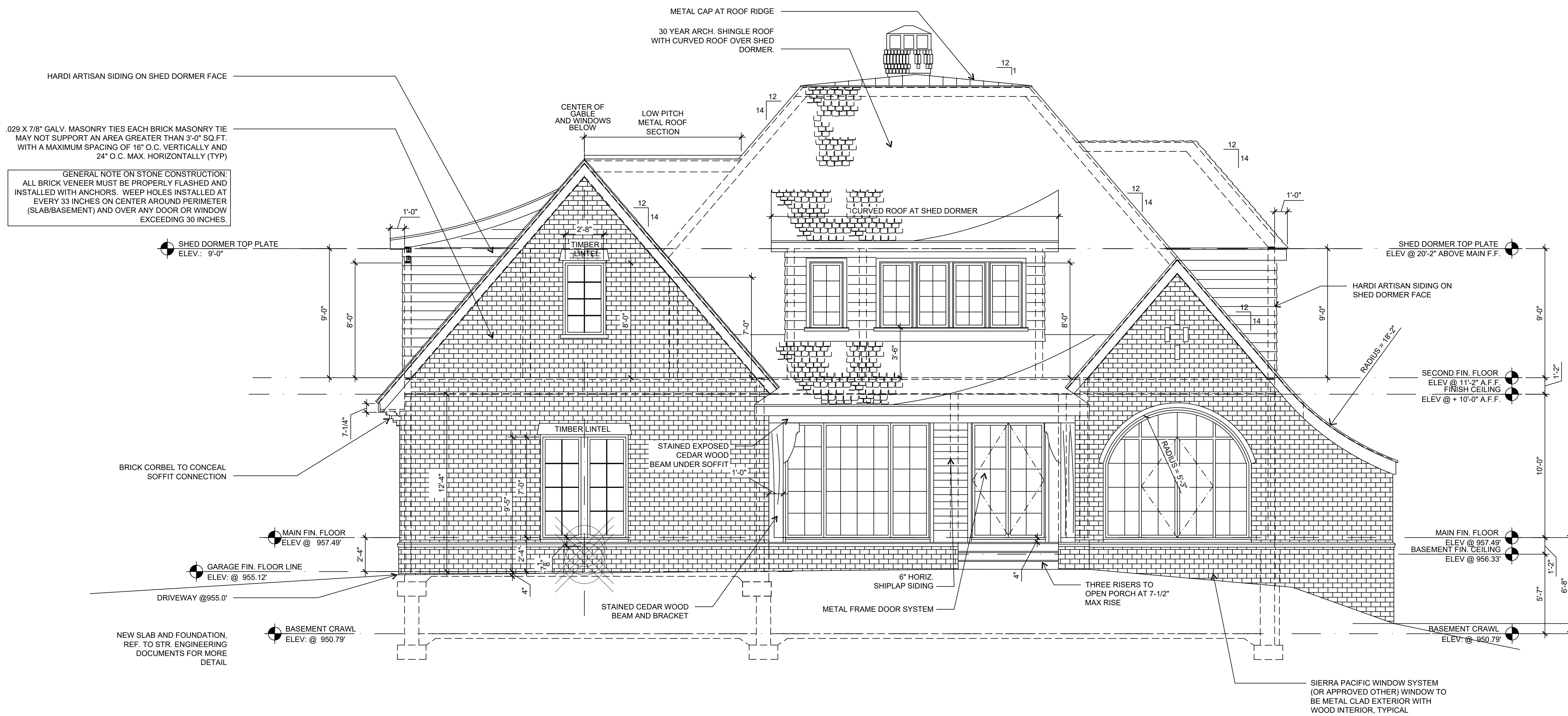
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a new house for
BRUCE & SILVIA BOWEN
870 EDGEWATER DRIVE NW
SANDY SPRINGS GEORGIA 30328

DATE 12/05/2025
DRAWN BY APC/WAC
JOB NUMBER 0271
SHEET NAME FRONT
EXTERIOR ELEVATION

A-4
SHEET NUMBER



1 PROPOSED EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

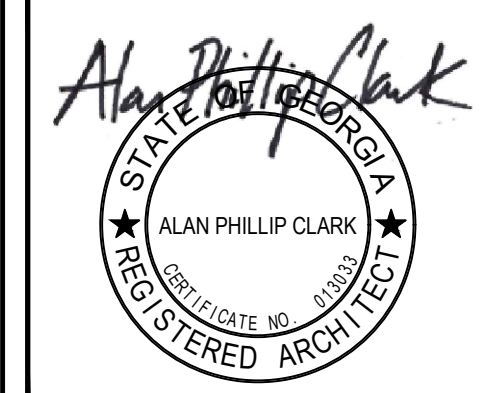
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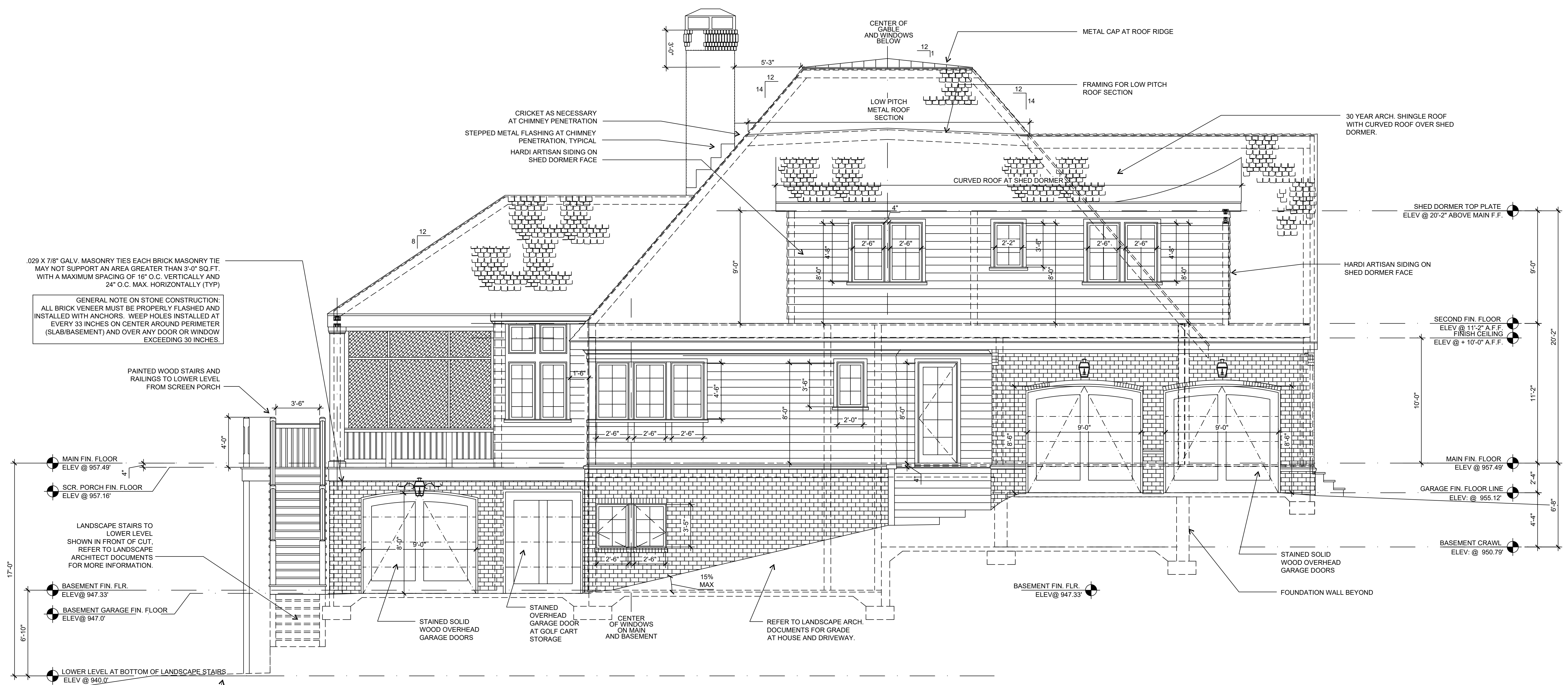
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SANDY SPRINGS GEORGIA 30328

DATE 12/05/2025
DRAWN BY APC/WAC
JOB NUMBER 0271
SHEET NAME DRIVEWAY SIDE ELEVATION

A-5
SHEET NUMBER



.029 X 7/8" GALV. MASONRY TIES EACH BRICK MASONRY TIE MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQ. FT. WITH A MAXIMUM SPACING OF 16" O.C. VERTICALLY AND 24" O.C. MAX. HORIZONTALLY (TYP)

GENERAL NOTE ON STONE CONSTRUCTION: ALL BRICK VENEER MUST BE PROPERLY FLASHED AND INSTALLED WITH ANCHORS. WEEP HOLES INSTALLED AT EVERY 33 INCHES ON CENTER AROUND PERIMETER (SLAB/BASEMENT) AND OVER ANY DOOR OR WINDOW EXCEEDING 30 INCHES.

PAINTED WOOD STAIRS AND RAILINGS TO LOWER LEVEL FROM SCREEN PORCH

LANDSCAPE STAIRS TO LOWER LEVEL SHOWN IN FRONT OF CUT, REFER TO LANDSCAPE ARCHITECT DOCUMENTS FOR MORE INFORMATION.

MAIN FIN. FLOOR ELEV @ 957.49'
SCR. PORCH FIN. FLOOR ELEV @ 957.16'
BASEMENT FIN. FLR. ELEV @ 947.33'
BASEMENT GARAGE FIN. FLOOR ELEV @ 947.0'
LOWER LEVEL AT BOTTOM OF LANDSCAPE STAIRS ELEV @ 940.0'
PROPOSED LOWER LEVEL AT BOTTOM OF STAIRS (REFER TO LANDSCAPE ARCHITECT DOCUMENTS)

1 PROPOSED EXTERIOR ELEVATION - DRIVE SIDE
SCALE: 1/4" = 1'-0"

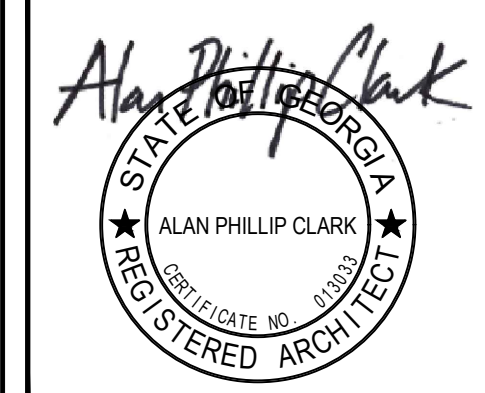
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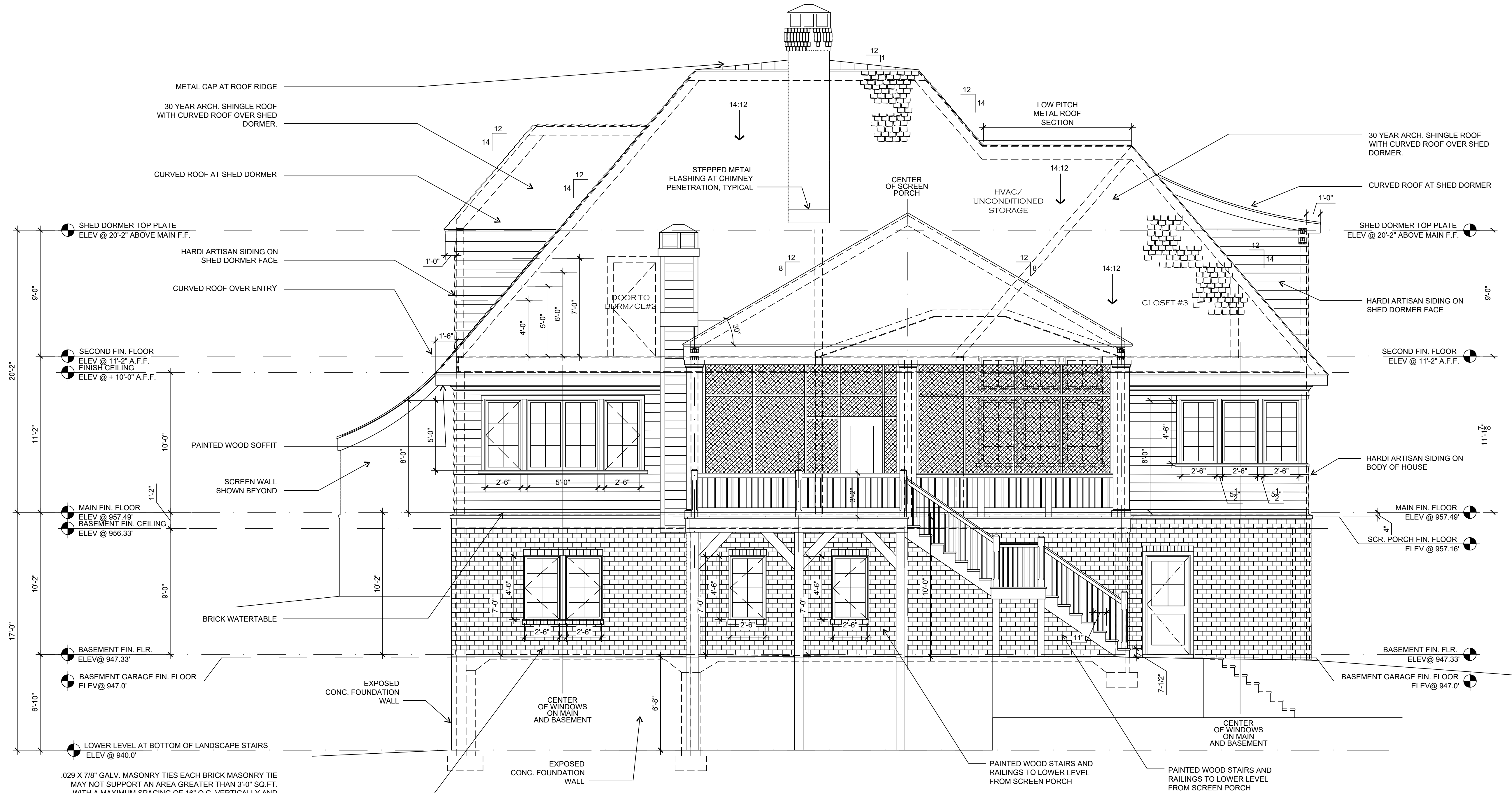
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DATE	12/05/2025
DRAWN BY	APC/WAC
JOB NUMBER	0271
SHEET NAME	REAR ELEVATION

A-6
 SHEET NUMBER



.029 X 7/8" GALV. MASONRY TIES EACH BRICK MASONRY TIE
 MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQ. FT.
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1 PROPOSED EXTERIOR ELEVATION - REAR
 SCALE: 1/4" = 1'-0"

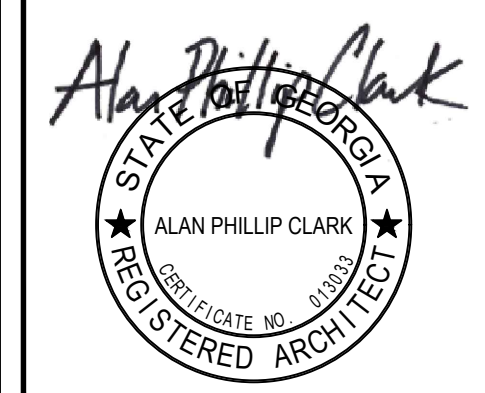
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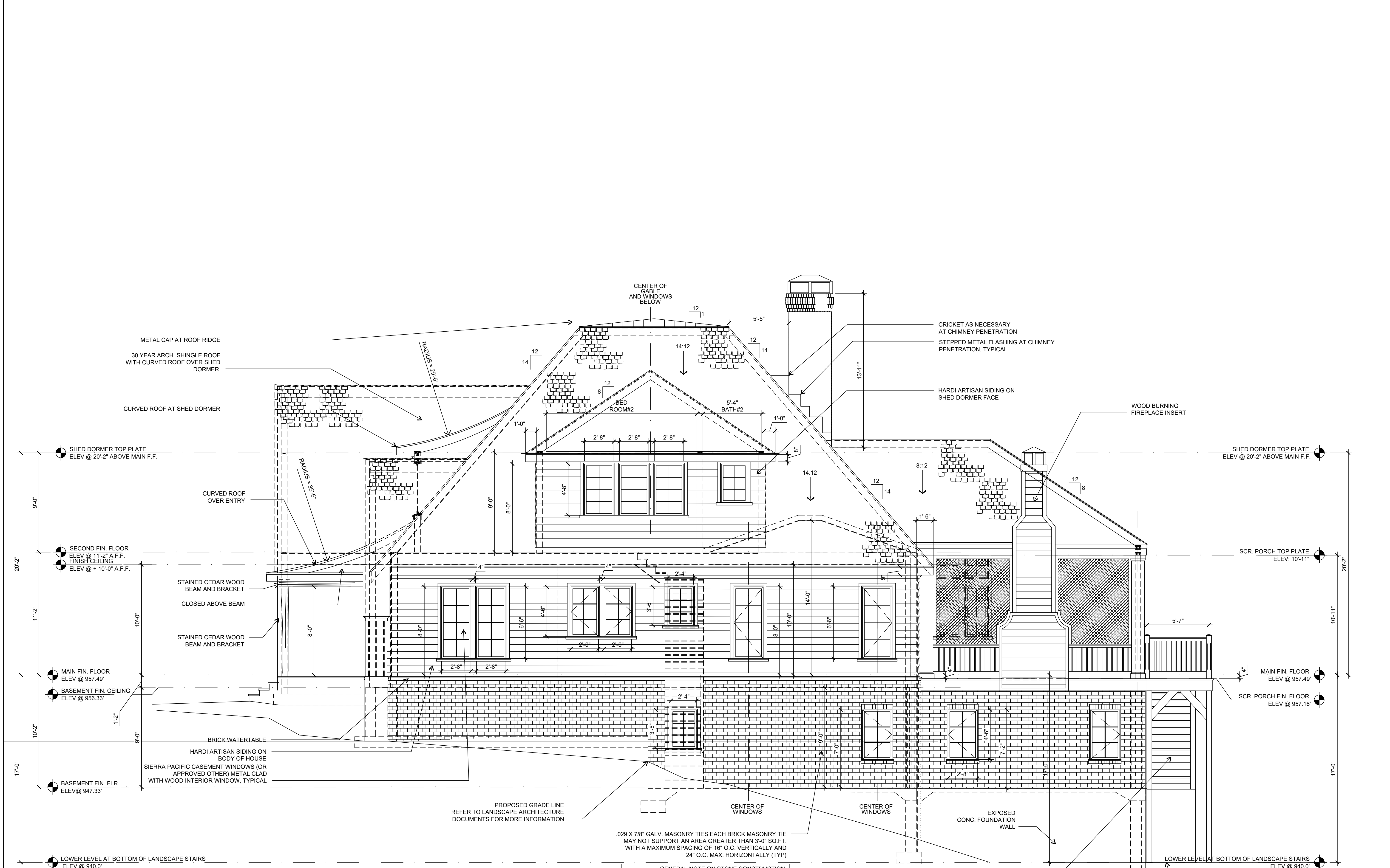
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DATE 12/05/2025
DRAWN BY APC/WAC
JOB NUMBER 0271
SHEET NAME SIDE ELEVATION

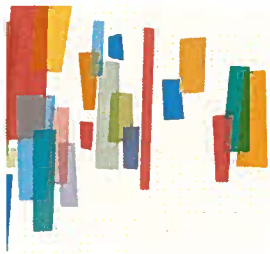
A-7
SHEET NUMBER



GENERAL NOTE ON STONE CONSTRUCTION:
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1 PROPOSED EXTERIOR ELEVATION - SIDE
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION : FOR REVIEW ONLY



Regional Review Finding Metropolitan River Protection Act

DATE: September 2, 2025

TO: Mayor Rusty Paul, City of Sandy Springs

ATTN TO: Helen Owens, *Planner III*, City of Sandy Springs

FROM: Anna Roach, *Executive Director*, Atlanta Regional Commission

ARC has completed a regional review of the following Metropolitan River Protection Act (MRPA) proposal and made the below finding. ARC reviewed the proposed project's compliance with MRPA requirements as well as its relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of nearby local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-25-04SS 870 Edgewater Drive

Submitting Local Government: City of Sandy Springs

Date Opened: August 15, 2025

Date Closed: September 2, 2025

Finding: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No comments were received.

The following local governments and agencies received notice of this review:

Atlanta Regional Commission
National Park Service
City of Atlanta

Georgia Department of Natural Resource
Georgia Conservancy
City of Sandy Springs

Chattahoochee Riverkeeper
Cobb County
Historic Riverline

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC review website located at <http://atlantaregional.org/plan-reviews>.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: City of Sandy Springs

2. Owner(s) of Record of Property to be Reviewed:
Name(s): Bruce and Silvia Bowen
Mailing Address: 870 Edgewater Drive NW
City: Sandy Springs State: GA Zip: 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: (404) 931-5092 Fax: _____
Other Numbers: _____

3. Applicant(s) or Applicant's Agent(s):
Name(s): Luke Love, PLA / Love Land Design, LLC
Mailing Address: PO Box 252
City: Pine Lake State: GA Zip: 30072
Contact Phone Numbers (w/Area Code):
Daytime Phone: (917) 340-8944 Fax: _____
Other Numbers: (770) 810-554

4. Proposed Land or Water Use:
Name of Development: Assoc. Northside Builders Inc (Existing)
Description of Proposed Use: New construction single family residence

5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: Land lot 168, 17th District, Fulton County, GA
- Plat book 82, Page 40
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Assoc. Northside Builders Inc., Lot 8, Blk L, Unit 4, Sec. B
Size of Development (Use as Applicable):
Acres: Inside Corridor: .80 Acres (34,887 SF) (34,885 SF - 5ms 8/1/25)
Outside Corridor: _____
Total: _____
Lots: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)	(75)
B	_____	_____	_____	(80)	(60)
C	34,885 SF	17,905 SF	8,968 SF	(70) 57%	(45) 29%
D	_____	_____	_____	(50)	(30)
E	_____	_____	_____	(30)	(15)
F	_____	_____	_____	(10)	(2)
Total:	34,885 SF	17,905 SF	8,968 SF	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO
If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

Written consent of all owners to this application. (Space provided on this form)

Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

Description of proposed use(s). (Space provided on this form)

Existing vegetation plan.

Proposed grading plan.

Certified as-builts of all existing land disturbance and impervious surfaces.

Approved erosion control plan.

Detailed table of land-disturbing activities. (Both on this form and on the plans)

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

Documentation on adjustments, if any.

Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

Site plan.

Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

Concept plan.

Lot-by-lot and non-lot allocation tables.

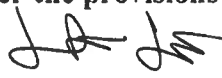
12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

 J. Bruce Bowen 8/8/2025

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

 , PLA / Love Land Design, LLC 08/07/2025

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Helen Owens

08/08/2025

Signature of Chief Elected Official or Official's Designee

Date

consultant

SPG SURVEYING, LLC

sub-consultant

seal

BRUCE & SILVIA BOWEN
870 Edgewater Drive NW
Sandy Springs, GA 30328
EMAIL: jbrucebowen@gmail.com

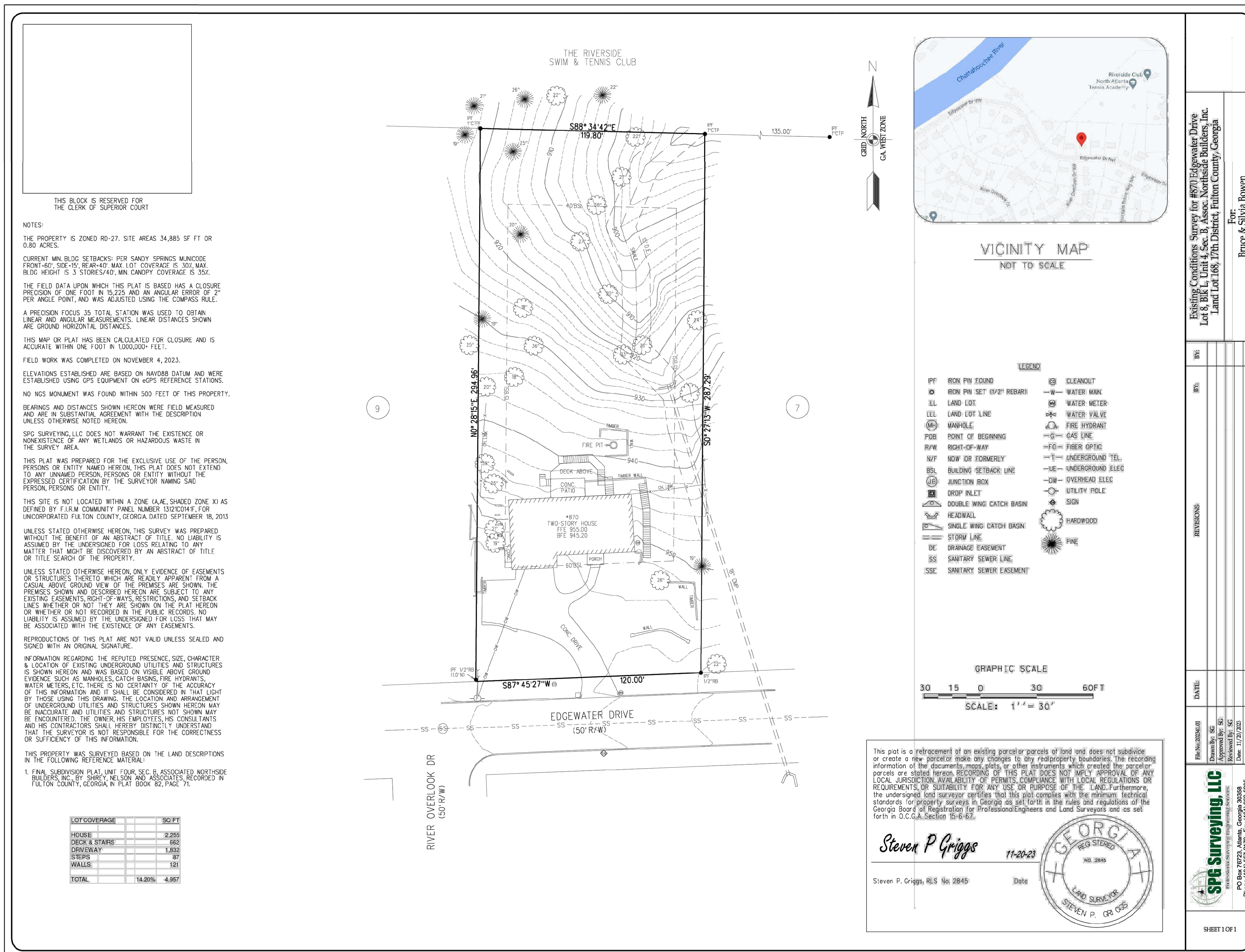
client

BOWEN RESIDENCE
870 EDGEWATER DR. NW
SANDY SPRINGS GA 30328

RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

NOTE:

The survey data presented here is provided by third party sources. Love Land Design, LLC is not responsible for the accuracy or content of this survey.



THIS BLOCK IS RESERVED FOR THE CLERK OF SUPERIOR COURT

NOTES:

THE PROPERTY IS ZONED R0-27. SITE AREAS 34,885 SF OR 0.80 ACRES.

CURRENT MIN BLDG SETBACKS: PER SANDY SPRINGS MUNICODÉ FRONT-60', SIDE-15', REAR-40'. MAX LOT COVERAGE IS 30%. MAX BLDG HEIGHT IS 3 STORIES/40'. MIN CANOPY COVERAGE IS 35%.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 15,223 AND AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE.

A PRECISION FOCUS 35 TOTAL STATION WAS USED TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS. LINEAR DISTANCES SHOWN ARE GROUND HORIZONTAL DISTANCES.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 1,000,000+ FEET.

FIELD WORK WAS COMPLETED ON NOVEMBER 4, 2023.

ELEVATIONS ESTABLISHED ARE BASED ON NAVD83 DATUM AND WERE ESTABLISHED USING GPS EQUIPMENT ON eGPS REFERENCE STATIONS.

NO NGS MONUMENT WAS FOUND WITHIN 500 FEET OF THIS PROPERTY.

BEARINGS AND DISTANCES SHOWN HEREON WERE FIELD MEASURED AND ARE IN SUBSTANTIAL AGREEMENT WITH THE DESCRIPTION UNLESS OTHERWISE NOTED HEREON.

SPG SURVEYING, LLC DOES NOT WARRANT THE EXISTENCE OR NONEXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESSED CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

THIS SITE IS NOT LOCATED WITHIN A ZONE (A,AE,SHADED ZONE X) AS DEFINED BY F.I.R.M COMMUNITY PANEL NUMBER 1312C014F, FOR UNINCORPORATED FULTON COUNTY, GEORGIA, DATED SEPTEMBER 18, 2013.

UNLESS STATED OTHERWISE HEREON, THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OF TITLE OR TITLE SEARCH OF THE PROPERTY.

UNLESS STATED OTHERWISE HEREON, ONLY EVIDENCE OF EASEMENTS OR STRUCTURES THERETO WHICH ARE READILY APPARENT FROM A CASUAL ABOVE GROUND VIEW OF THE PREMISES ARE SHOWN. THE PREMISES SHOWN AND DESCRIBED HEREON ARE SUBJECT TO ANY EXISTING EASEMENTS, RIGHT-OF-WAYS, RESTRICTIONS AND SETBACK LINES WHETHER OR NOT THEY ARE SHOWN ON THE PLAT HEREON OR WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS THAT MAY BE ASSOCIATED WITH THE EXISTENCE OF ANY EASEMENTS.

REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED AND SIGNED WITH AN ORIGINAL SIGNATURE.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER & LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON AND WAS BASED ON VISIBLE ABOVE GROUND EVIDENCE SUCH AS MANHOLES, CATCH BASINS, FIRE HYDRANTS, WATER METERS, ETC. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

THIS PROPERTY WAS SURVEYED BASED ON THE LAND DESCRIPTIONS IN THE FOLLOWING REFERENCE MATERIAL:

1. FINAL SUBDIVISION PLAT, UNIT FOUR, SEC. B, ASSOCIATED NORTHSIDE BUILDERS, INC. BY SHIRLEY NELSON AND ASSOCIATES, RECORDED IN FULTON COUNTY, GEORGIA, IN PLAT BOOK 82, PAGE 71.

This plot is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats or other instruments which created the parcel or parcels are stated hereon. RECORDING OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plot complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Steven P. Griggs 11-20-23
Steven P. Griggs, RLS No. 2845 Date

Existing Conditions Survey for #870 Edgewater Drive Lot 8, Blk L, Unit 4, Sec. B, Assoc. Northside Builders, Inc. Land Lot 168, 17th District, Fulton County, Georgia

DATE	BY	REVISIONS

SPG Surveying, LLC
Professional Surveying & Engineering Services
PO Box 78923, Atlanta, Georgia 30358
Phone (404) 557-2170 Fax (404) 252-5695

SHEET 1 OF 1

#	DATE	DESCRIPTION

revisions

date 12/05/25

project #

drawn by

SITE SURVEY

sheet title

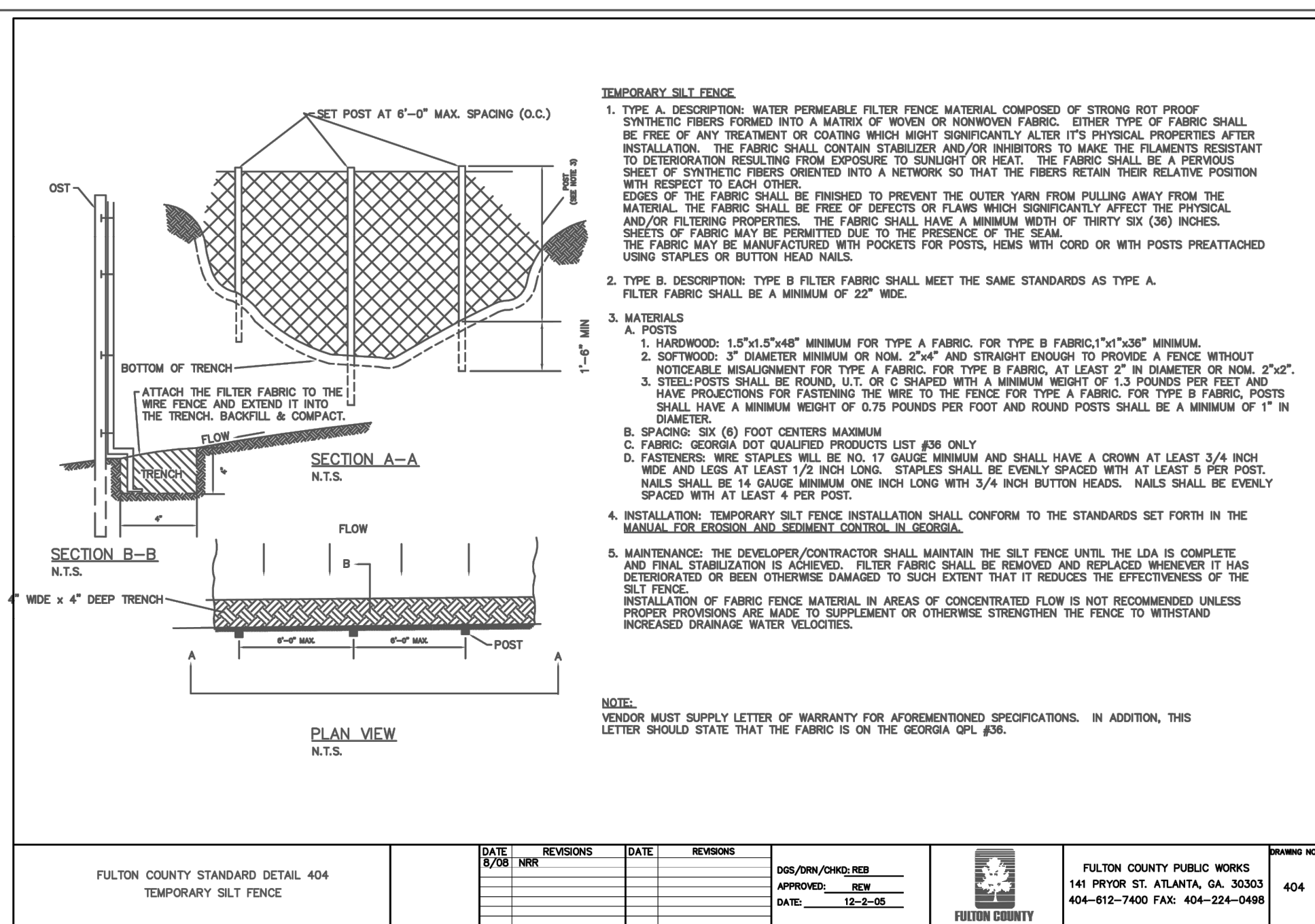
V100

sheet #

UTILITIES PROTECTION CENTER

GA. 770-623-4344 (811)

CALL THREE WORKING DAYS BEFORE YOU DIG
IT'S THE LAW
UPC TICKET#



LOT COVERAGE

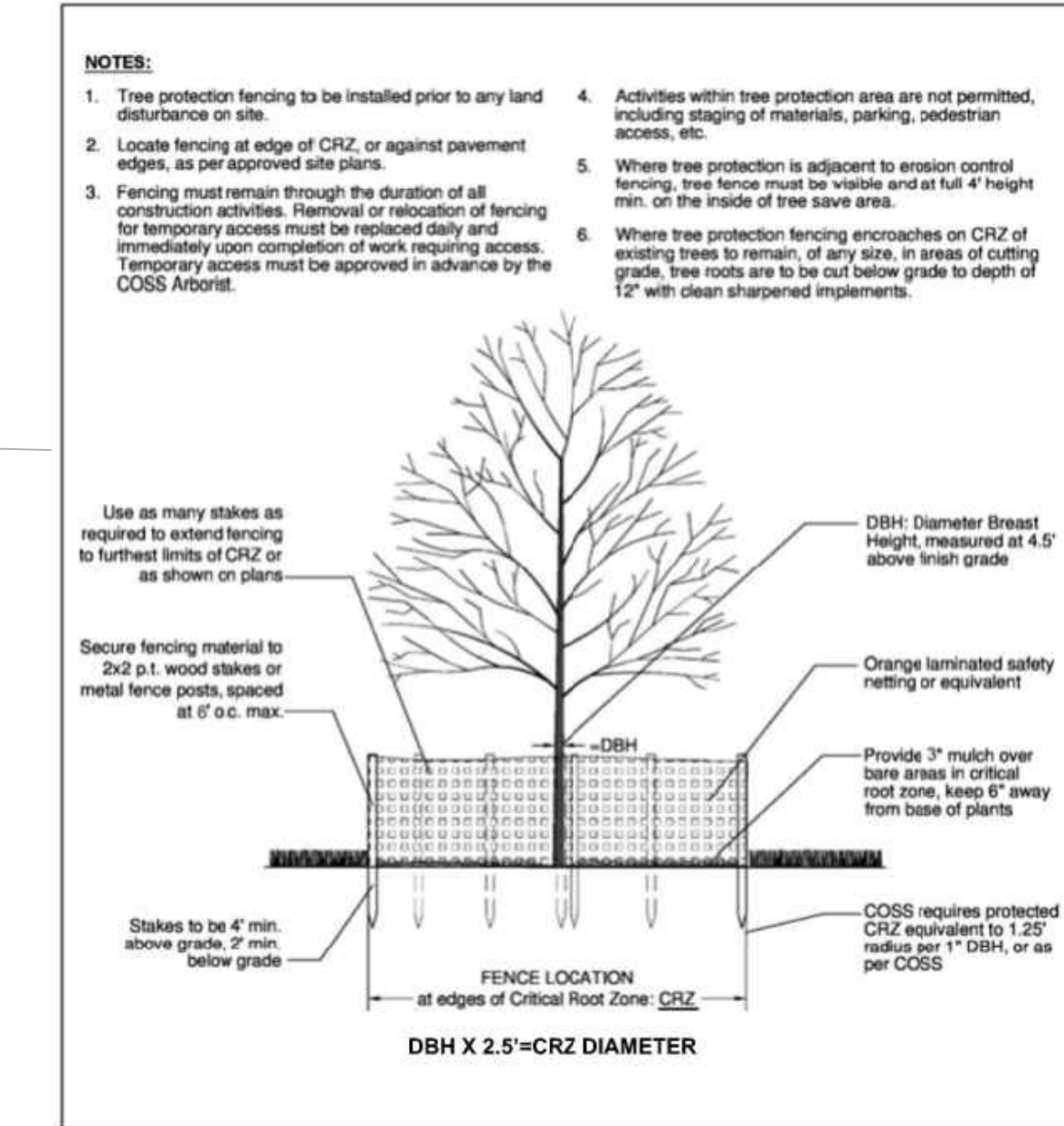
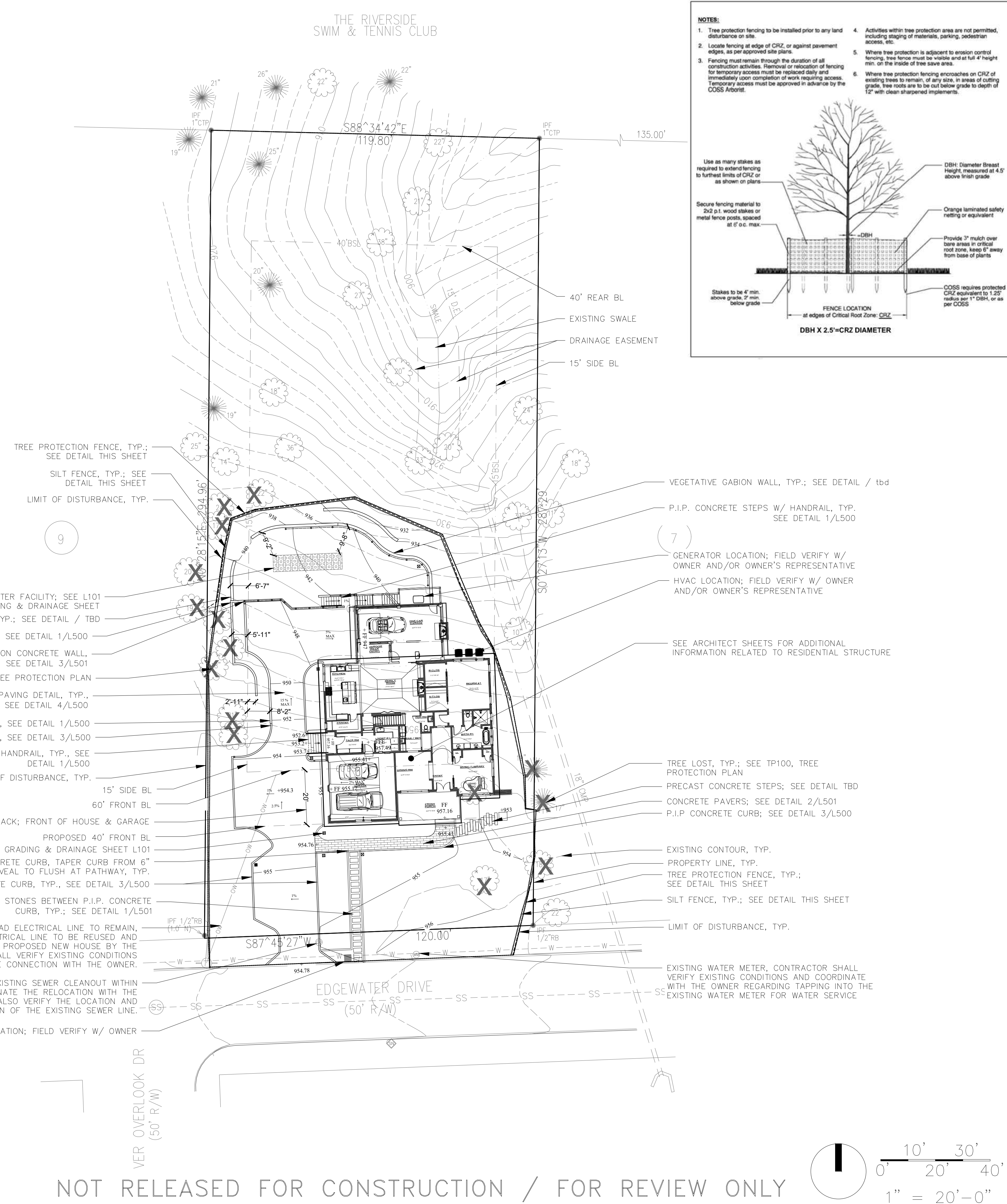
ZONING RD-27
TOTAL LOT = 34,885 SF / .80 ACRES

EXISTING LOT COVERAGE:

DECK & STAIRS	= 662 sf.
HOUSE	= 2,255 sf.
CONCRETE DRIVEWAY	= 1645 sf.
STEPS	= 87 sf.
WALLS	= 121 sf.
EXISTING TOTAL	= 4957 sf.
EXISTING LOT COVERAGE	= 14.2 %

PROPOSED LOT COVERAGE:

HOUSE	= 4430 sf.
CONCRETE DRIVEWAY	= 3091 sf.
CONCRETE SITE STAIRS & WALLS	= 462.5 sf.
STEPPING STONES	= 85.5 sf.
DECK	= 163 sf.
CURBS	= 101 sf.
CONCRETE PAVERS	= 233 sf.
PROPOSED TOTAL	= 8566 sf.
PROPOSED LOT COVERAGE	= 24.5 %
FLOOR AREA RATIO	= .13
TOTAL AREA OF DISTURBANCE	= 17518 SF / .4 ACRE



LOVE

landscape architecture

LOVE LAND DESIGN LLC
PO BOX 252
PINE LAKE GA 30072
OFFICE: 770-810-5545

consultant

sub-consultant



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NEW RESIDENTIAL & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

revisions

date 12/05/25

project #

drawn by LUKE LOVE

SITE PLAN

sheet title

L100

sheet #

DRAINAGE PLAN NOTES:

THIS PROJECT PROVIDES REQUIRED STORMWATER RUNOFF REDUCTION VOLUME (RRV) AND WATER QUALTY VOLUME (WQV) IN ACCORDANCE WITH CITY OF SANDY SPRINGS DEVELOPMENT CODE SECTION 9.6.12

PROJECT SUMMARY

- PROPOSED IMPERVIOUS AREA: 9,041SF
- RUNOFF REDUCTION VOLUME(RRV)= 1.2 INCHES OVER IMPERVIOUS AREA
- 9,041 SF x (1.2 IN/ 12 IN) = 904 CUBIC FEET

- ALL STORM DRAIN PIPING SHALL BE RIGID, SMOOTH-INTERIOR PIPE (PVC SDR 35 OR ADS N-12). CORRUGATED FLEXIBLE TUBING IS NOT PERMITTED FOR MAIN TRUNK LINES. PIPE SHALL BE BEDDED IN 4" OF GRAVEL OR SAND.
- PIPE UNDER DRIVEWAYS SHALL BE 6" SCH 40 PVC STORM DRAIN BACKFILL W/ CRUSHED STONE MIN. 12" COVER

COMPLIANCE STATEMENT:

THIS PLAN MEETS THE STORMWATER RUNOFF REDUCTION REQUIREMENT OF 1.2 INCHES OVER TOTAL PROPOSED IMPERVIOUS AREA USING A COMBINATION OF A RAINWATER HARVESTING CISTERN, DRYWELL AND AN INFILTRATION RAIN GARDEN PER CITY OF SANDY SPRINGS DEVELOPMENT CODE SECTION 9.6.12.A.2 THROUGH 9.6.12.A.4. THE RAIN GARDEN IS SIZED TO STORE AND INFILTRATION RUNOFF WITH A MINIMUM 24-HOUR DRAWDOWN TIME.

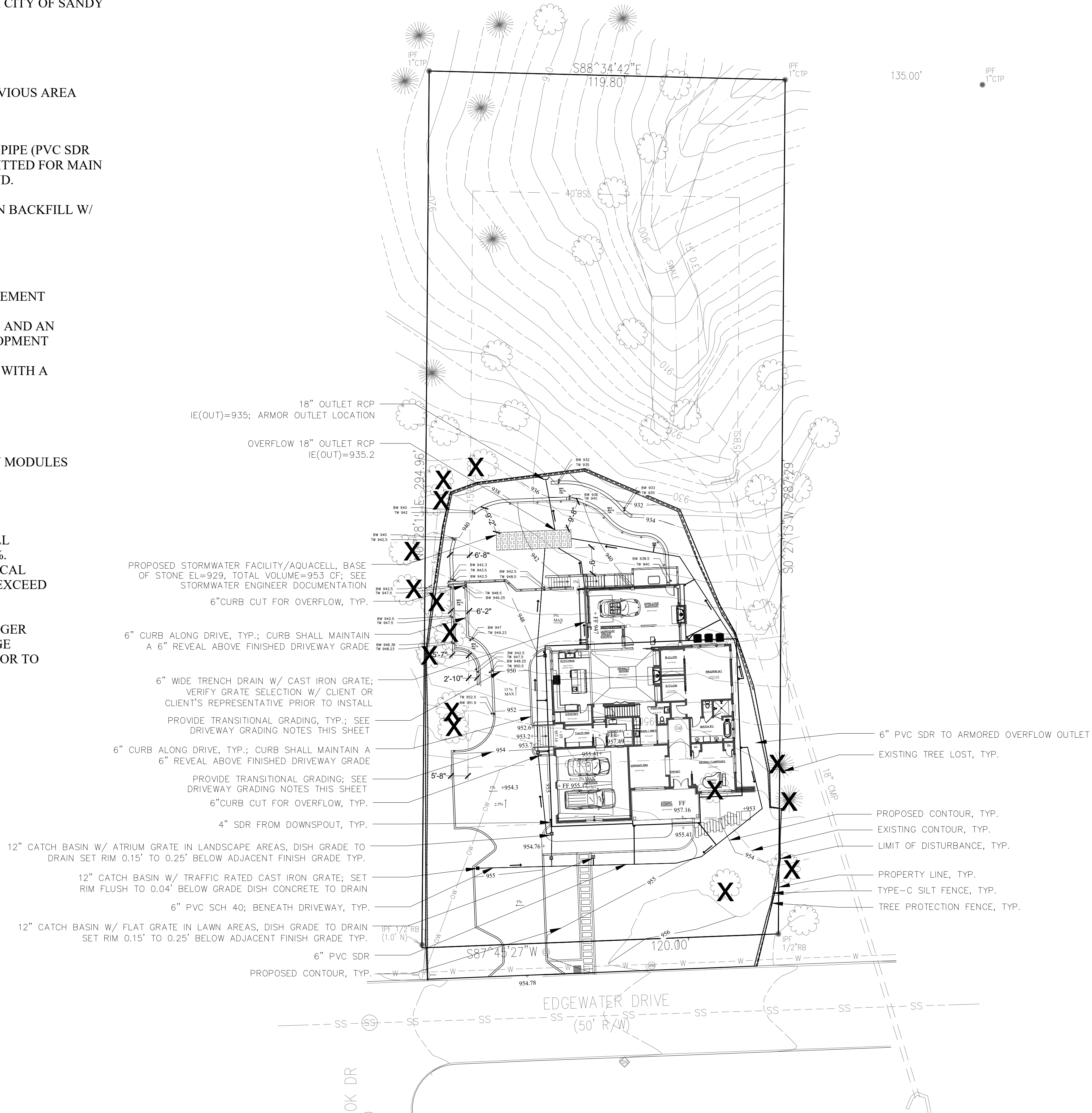
STORMWATER FACILITY NOTES:

AQUACELL, 4-LAYERS / 18 MODULES, 6" OF STONE ABOVE & BELOW MODULES

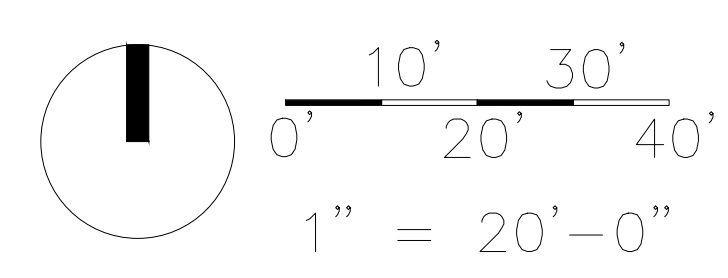
DRIVEWAY GRADING NOTES:

DRIVEWAY GRADING SPECIFICATION: CONTRACTOR SHALL INSTALL TRANSITIONAL GRADING AT ALL GRADE CHANGES EXCEEDING 10%. TRANSITIONS SHALL CONSIST OF A MINIMUM 10-FOOT LONG VERTICAL CURVE (VC) OR "RAMP-UP" SECTION WHERE THE SLOPE DOES NOT EXCEED 5% BEFORE TRANSITIONING TO THE FULL DESIGN GRADE.

CRITICAL: DRIVEWAY MUST ACCOMMODATE A STANDARD PASSENGER VEHICLE APPROACH ANGLE WITHOUT BUMPER OR UNDERCARRIAGE CONTACT. CONTRACTOR TO VERIFY TRANSITION SMOOTHNESS PRIOR TO POURING CONCRETE.



NOT RELEASED FOR CONSTRUCTION / FOR REVIEW ONLY



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landscape architecture

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RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

revisions

12/05/25

project # LUKE LOVE

drawn by

GRADING & DRAINAGE PLAN
sheet title

L101

sheet #

consultant

sub-consultant



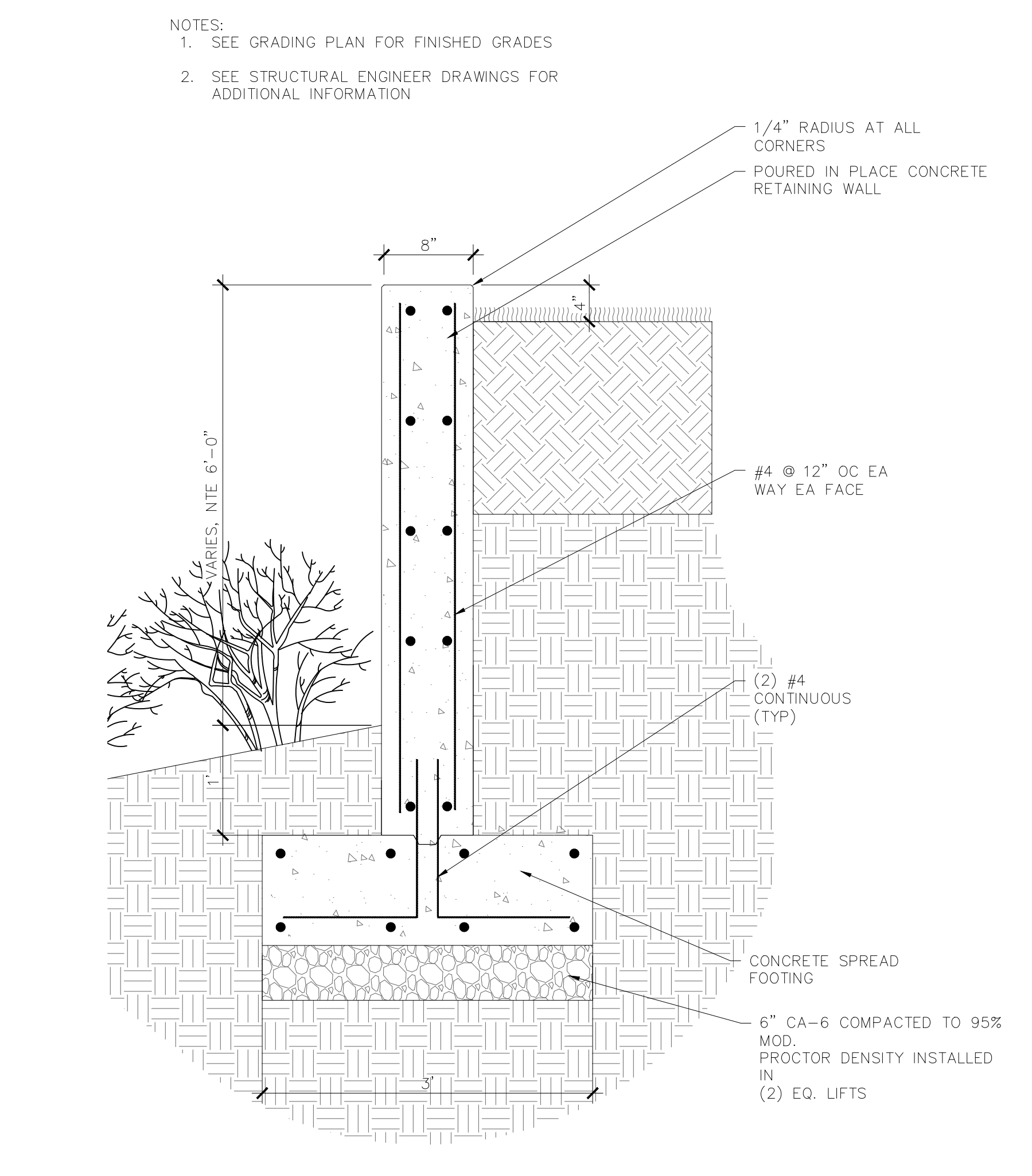
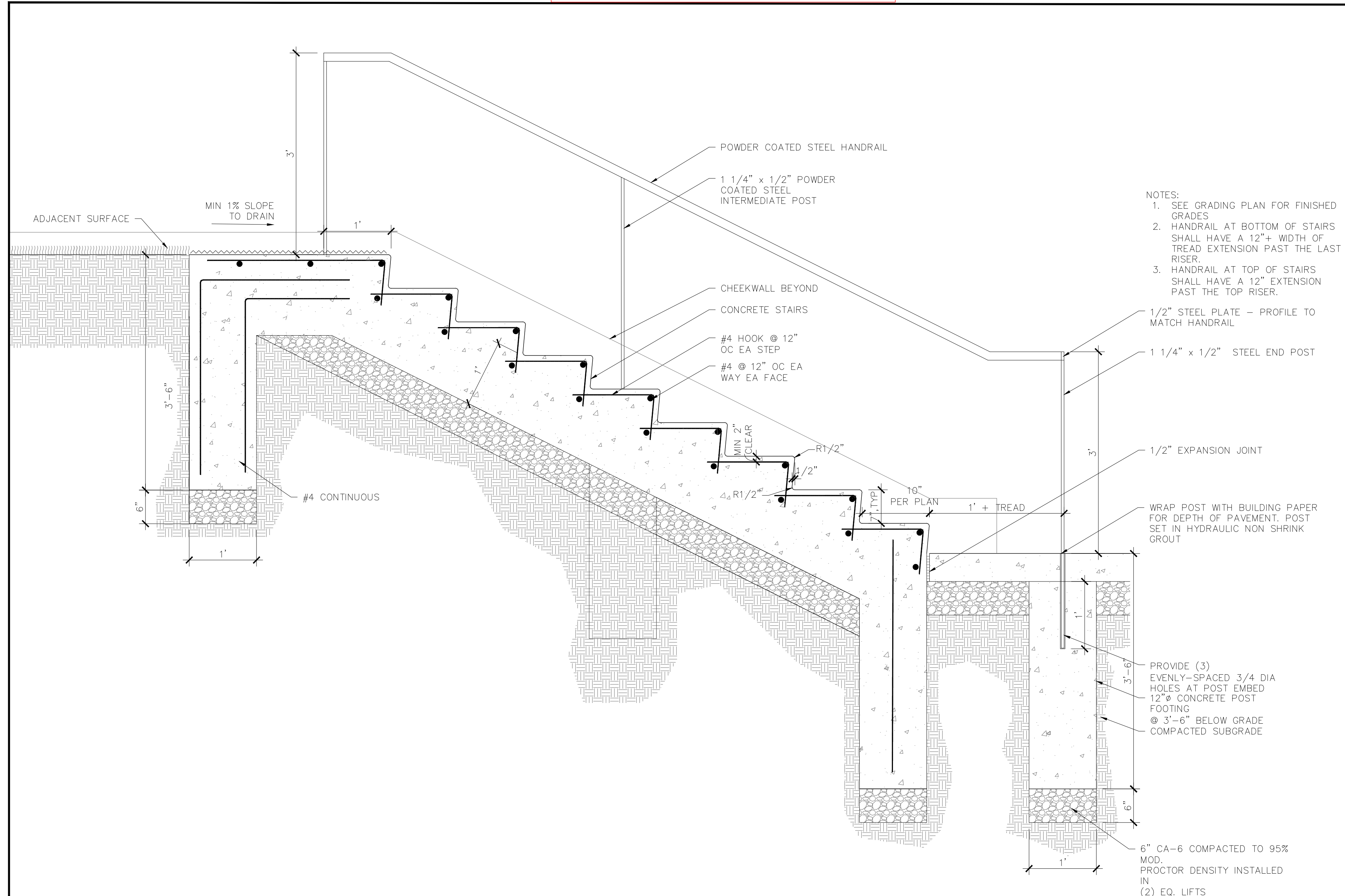
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RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

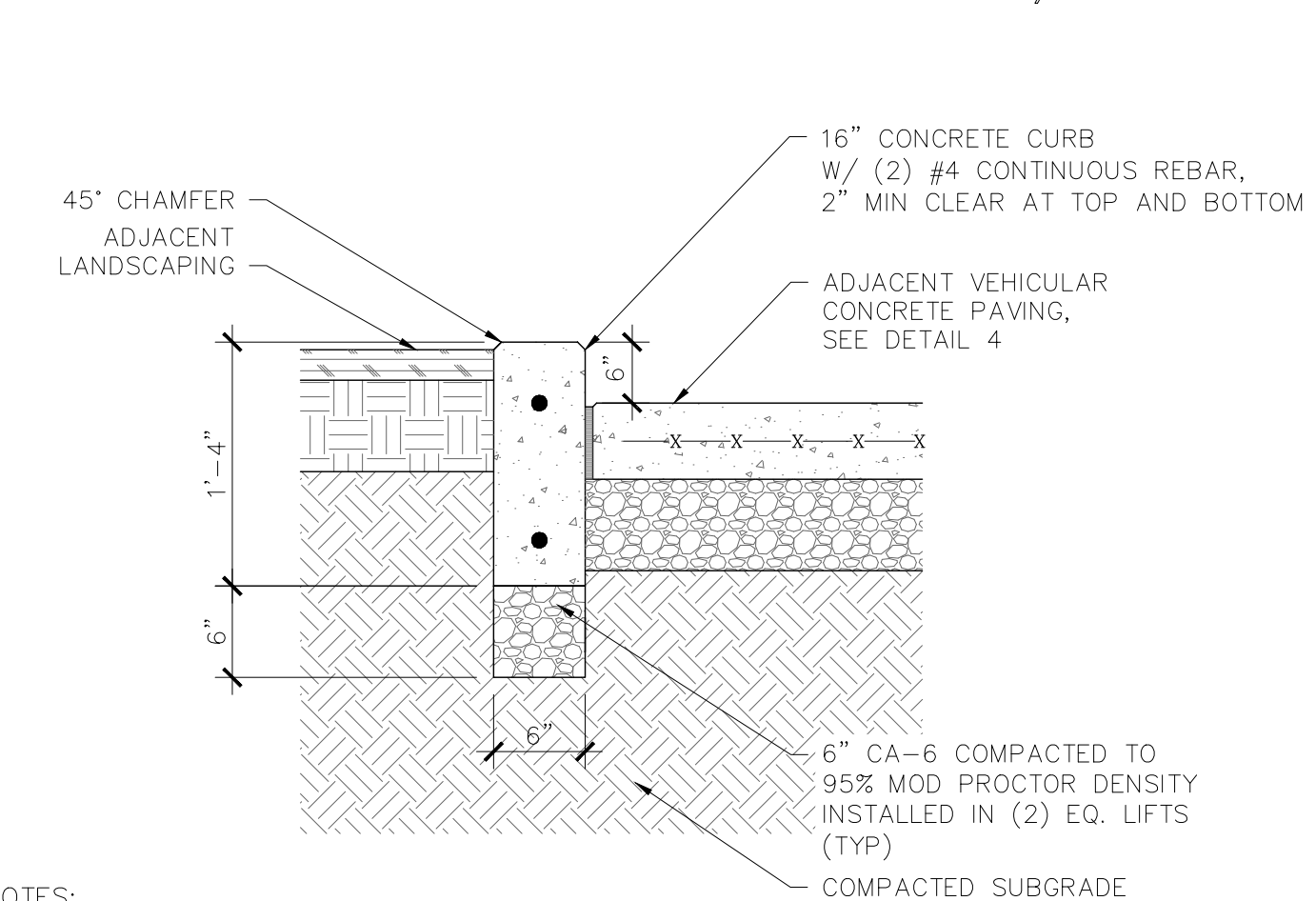


1

PIP CONCRETE STEPS W/ HANDRAIL, TYP

2

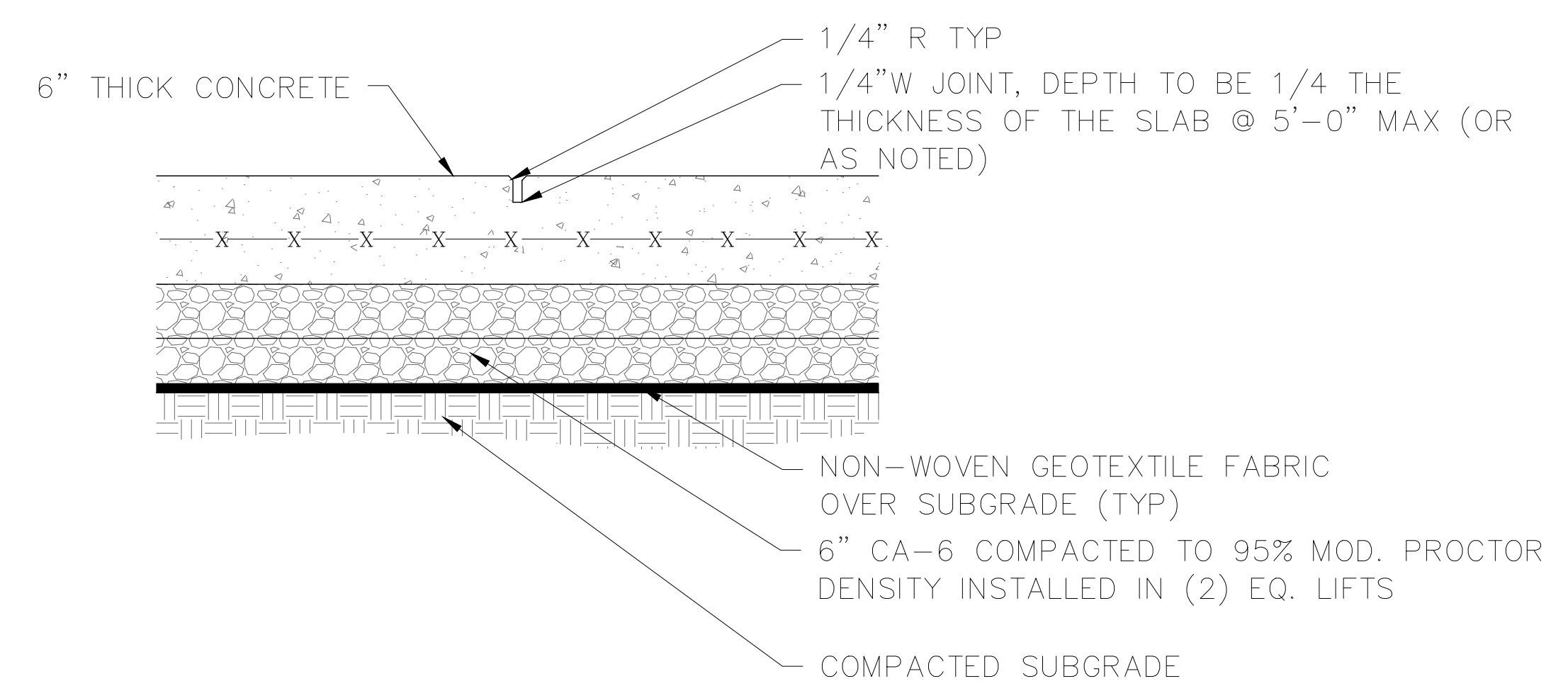
PIP CONCRETE WALL, TYP



NOTES:
*MAINTAIN A 6" REVEAL ABOVE FINISHED DRIVEWAY GRADE
*SMOOTH TROWEL FINISH ON ALL EXPOSED SIDE

3

P.I.P CONCRETE CURB



4

CONCRETE PAVING DETAIL

#	DATE	DESCRIPTION
4	4/14/25	COA COMMENTS

revisions

12/05/25
date

project # LUKE LOVE

drawn by DETAILS

sheet title **L500**

sheet #

consultant

sub-consultant



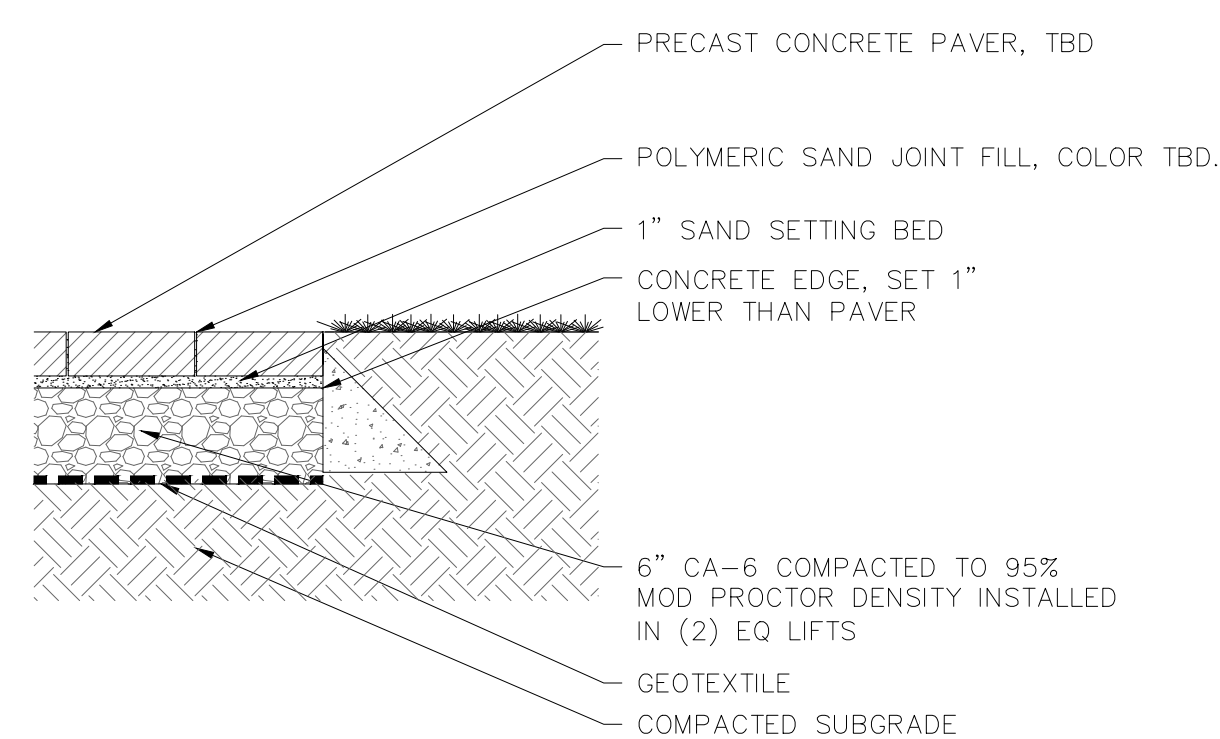
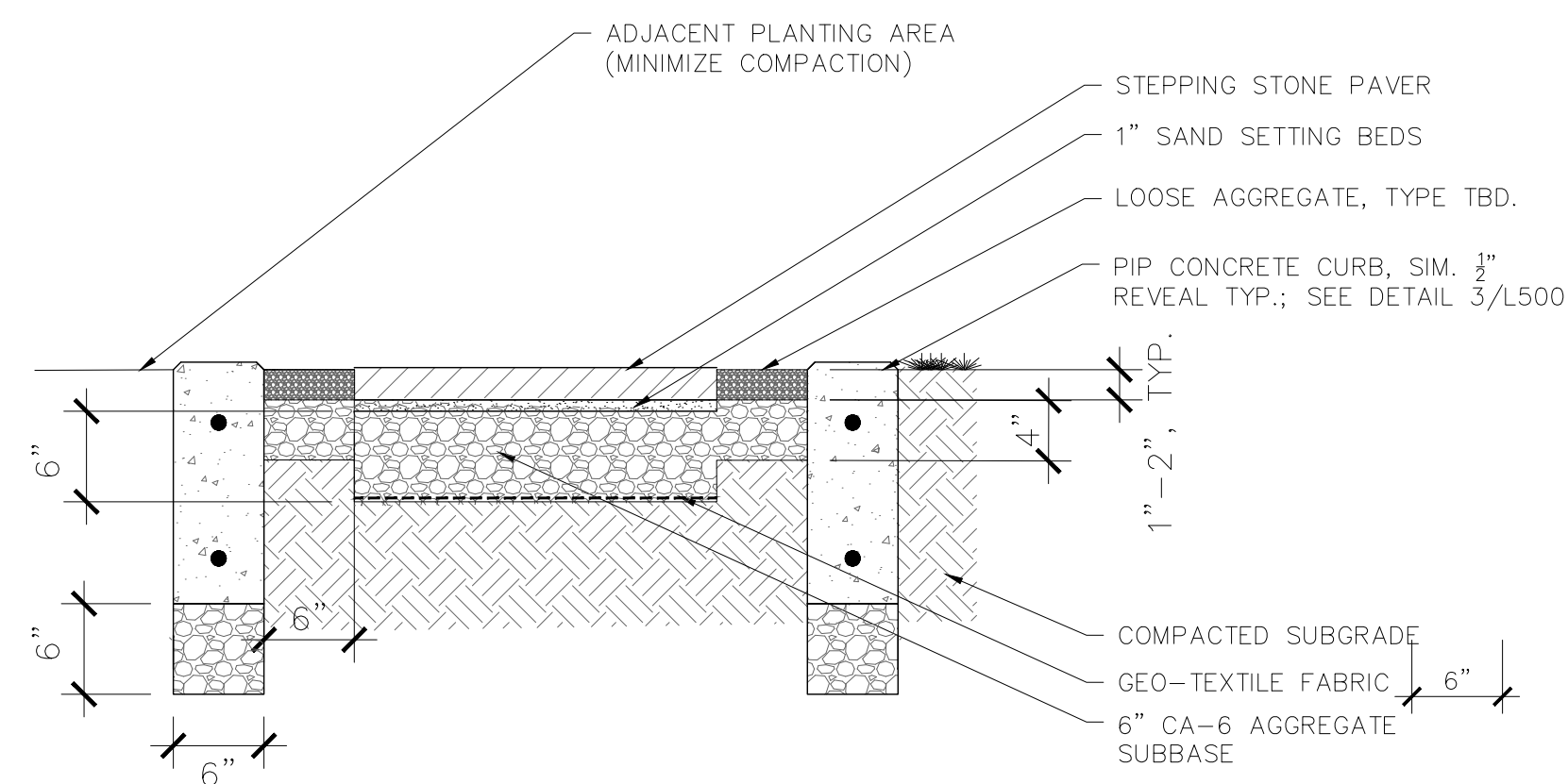
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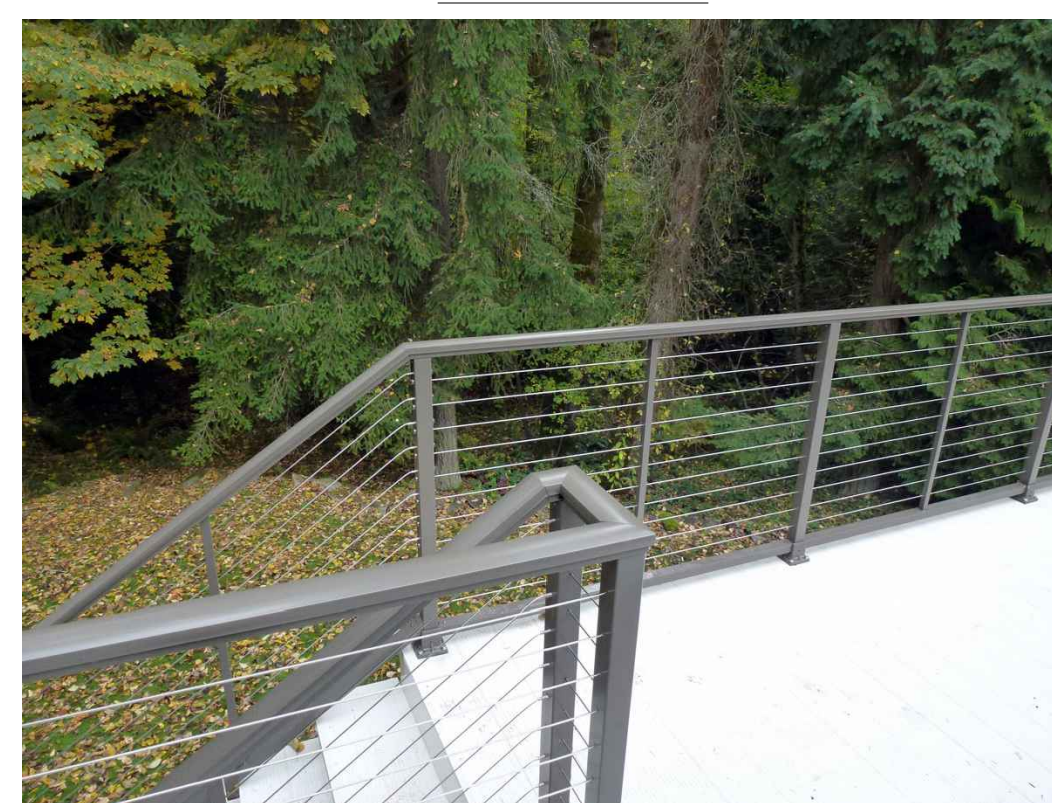
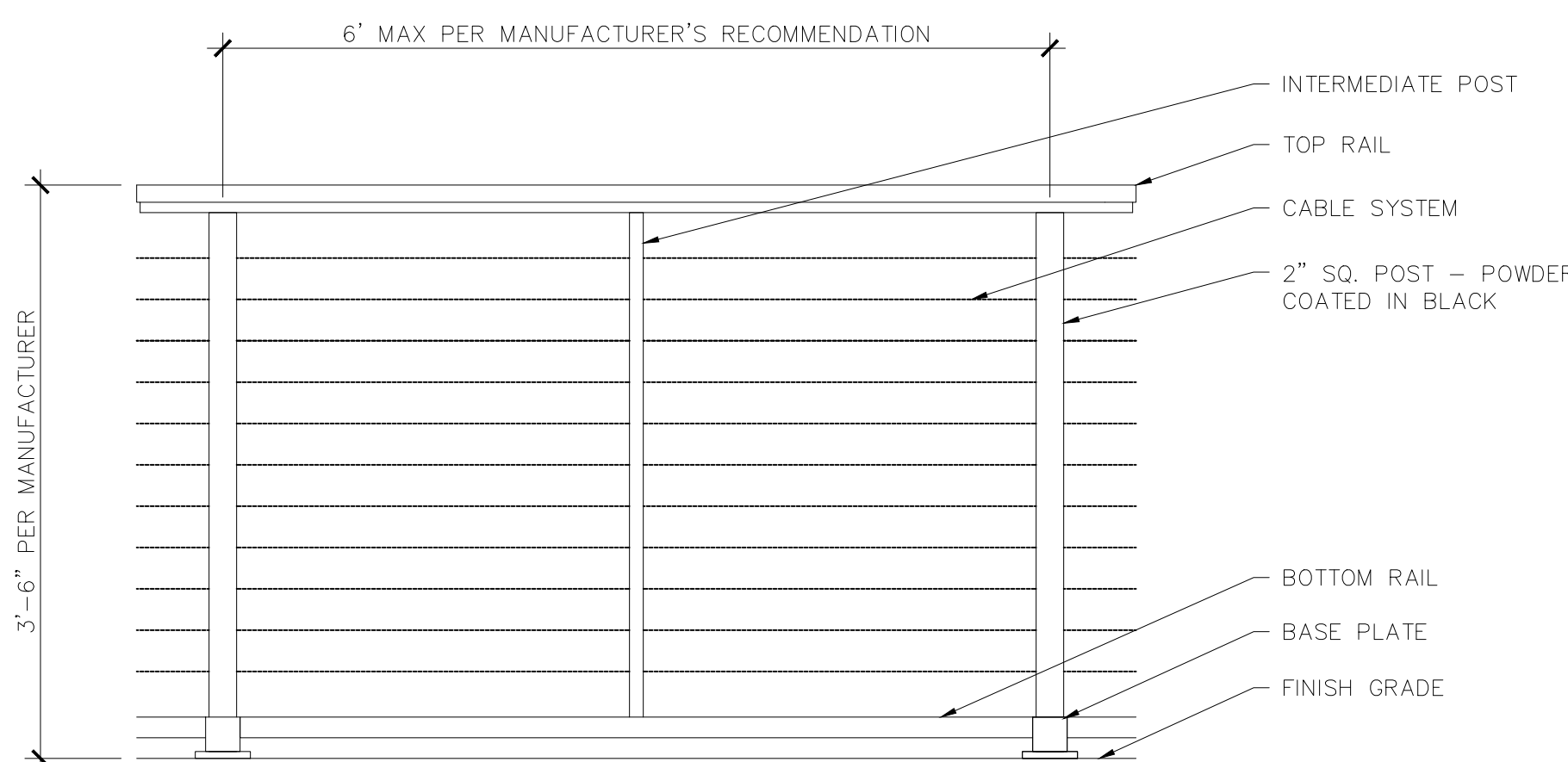
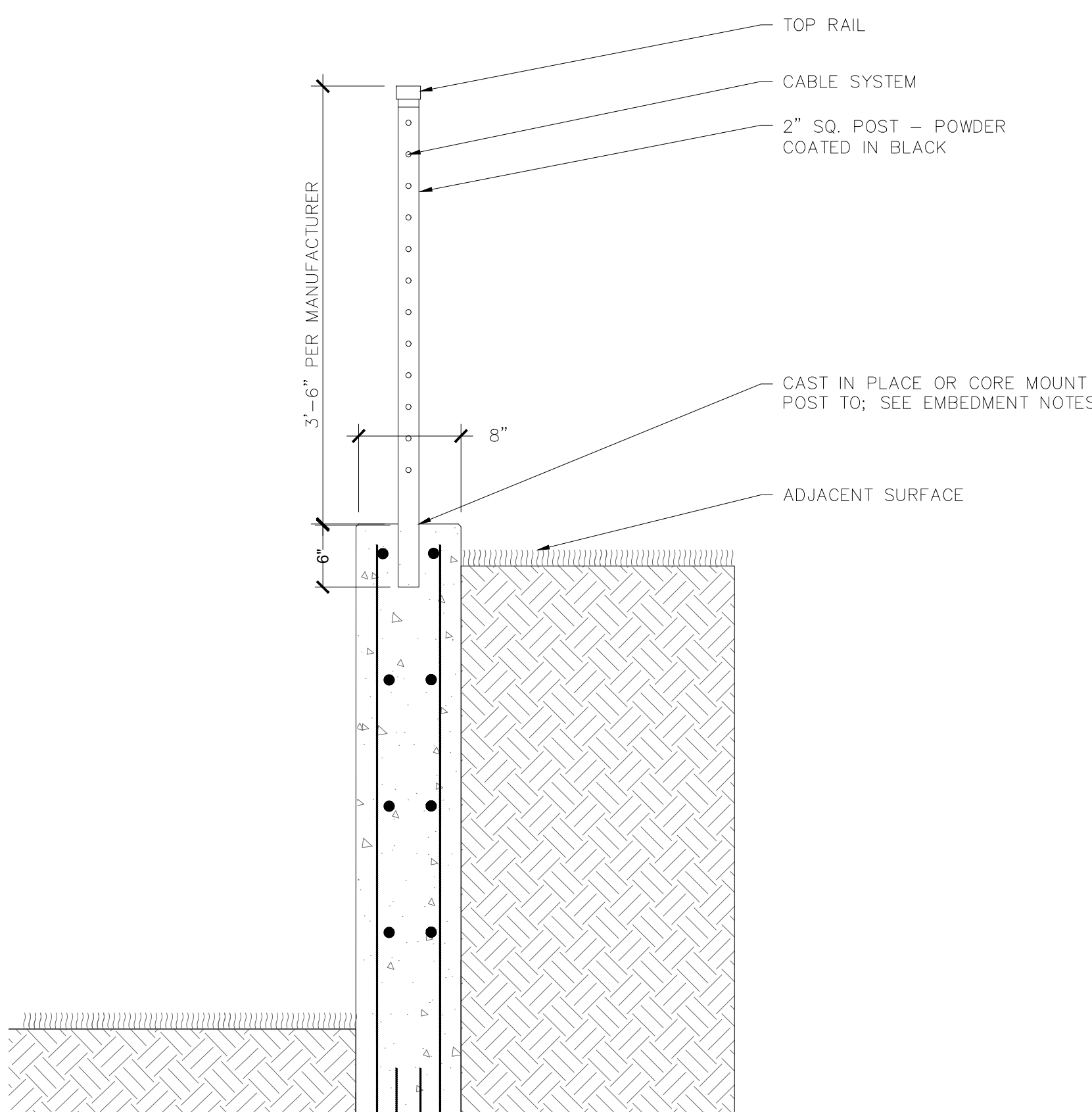
**RESIDENTIAL RENOVATION &
SITE IMPROVEMENTS**



1 **STEPPING STONE**

*MODEL: LINEA PAVERS (LARGE RECTANGLES, SHALE GREY, SMOOTH FINISH)
*MANUFACTURER: TECO-BLOC

2 **CONCRETE PAVERS**



CABLE RAILING PHOTO EXAMPLE

PRODUCT NOTES:

1. MATERIAL: RAILING COMPONENTS ARE OF 6005A - T65 ALUMINUM
2. FINISH: DURABLE HIGH-DENSITY POLYESTER POWDER-COAT FINISH. MEETS AAMA 2604 STANDARDS.
3. UV STABLE POWDER COAT. NO BEFORE AND AFTER COLOR CHANGES FOUND WITH MOST COMPOSITE DECK PRODUCTS. MOST COMPOSITE PRODUCTS FADE MORE IN 3 MONTHS THAN FSI'S AAMA 2604 POWDER COAT IN 5 YEARS.
4. FINISH HEIGHT: 42" (11) CABLES.
5. CABLE SPACING: STANDARD CABLE SPACING IS 3" INSIDE.
6. CABLE COMPONENTS: ALL STAINLESS STEEL CABLE COMPONENTS ARE 316 GRADE. STANDARD SS CABLES ARE 1/8" IN DIAMETER AND HAVE A 1X19 BRAID.
7. FABRICATION: ALL HOLES ARE PRE-DRILLED FOR EASY ASSEMBLY.
8. FASTENERS: STAINLESS STEEL FASTENERS ARE USED THROUGHOUT THE RAILING ASSEMBLY.
9. CODE COMPLIANCE: PICKET RAILINGS MEET NATIONAL SAFETY STANDARDS AND THE 2003 ICC INTERNATIONAL BUILDING CODES. CODES DO VARY BY CITY AND COUNTY AND IS THE CUSTOMERS RESPONSIBILITY TO ENSURE THE RAIL SYSTEM WILL MEET LOCAL CODES.
10. LOAD TESTING: RAILS ARE PROFESSIONALLY TESTED BY AN INDEPENDENT TESTING LABORATORY AND PROFESSIONAL ENGINEERS TO MEET INTERNATIONAL SAFETY REQUIREMENTS. TYPICAL TESTING REQUIRES THE RAILINGS TO PASS 200 LB. CONCENTRATED LOADS, 100 LB. PER LINEAR FT. AND 50 LBS IN A 1' SQUARE FOOT AREA OF THE INFILL. VISIT THE DOWNLOADS SECTION OF THIS PAGE FOR MORE DETAILS. ALTERNATIVE TESTING MAY BE AVAILABLE. CONTACT US FOR DETAILS.
11. MAINTENANCE: RAILINGS MAY BE WASHED AS NEEDED WITH WATER AND MILD SOAP. DO NOT USE ACIDIC SOLUTIONS, HARSH SOLUTIONS OR ABRASIVE CLEANING MATERIALS OR SOLUTIONS AS THEY COULD HARM THE FINISH.

POST EMBEDMENT NOTES

1. GENERAL: INSTALL 2"x2" METAL POSTS TO A FINISHED HEIGHT OF 42" A.F.F. (ABOVE FINISHED FLOOR). TOTAL POST LENGTH = 48" MIN.
 2. EMBEDMENT: MINIMUM 6" EMBEDMENT INTO STRUCTURAL CONCRETE.
 3. OPTION A (WET-SET): SET POSTS PLUMB IN PLASTIC CONCRETE USING RIGID TEMPLATES TO MAINTAIN ALIGNMENT.
 4. OPTION B (CORE MOUNT): * HOLE: CORE DRILL OR SLEEVE 4" DIA. x 6" DEEP HOLE.
- SETTING: PLUMB POST WITH SHIMS; FILL VOID WITH NON-SHRINK STRUCTURAL GROUT.
- FINISH: SLIGHTLY CROWN GROUT AT TOP TO SHED WATER.
5. TOLERANCE: POSTS TO BE PLUMB WITHIN 1/16" AND CENTERED ON WALL.

3 **GUARDRAIL ON CONCRETE WALL**

*MODEL: CABLE RAILING (CUSTOM DESIGN)
*COLOR/FINISH: BLACK/DURABLE HIGH-DENSITY POLYESTER POWDER-COAT FINISH
*MANUFACTURER: RAILING WORKS ARCHITECTURAL RAILING SYSTEMS (NEXANINC.COM)

#	DATE	DESCRIPTION

revisions

12/05/25

date

project #

LUKE LOVE

drawn by

DETAILS

sheet title

L501

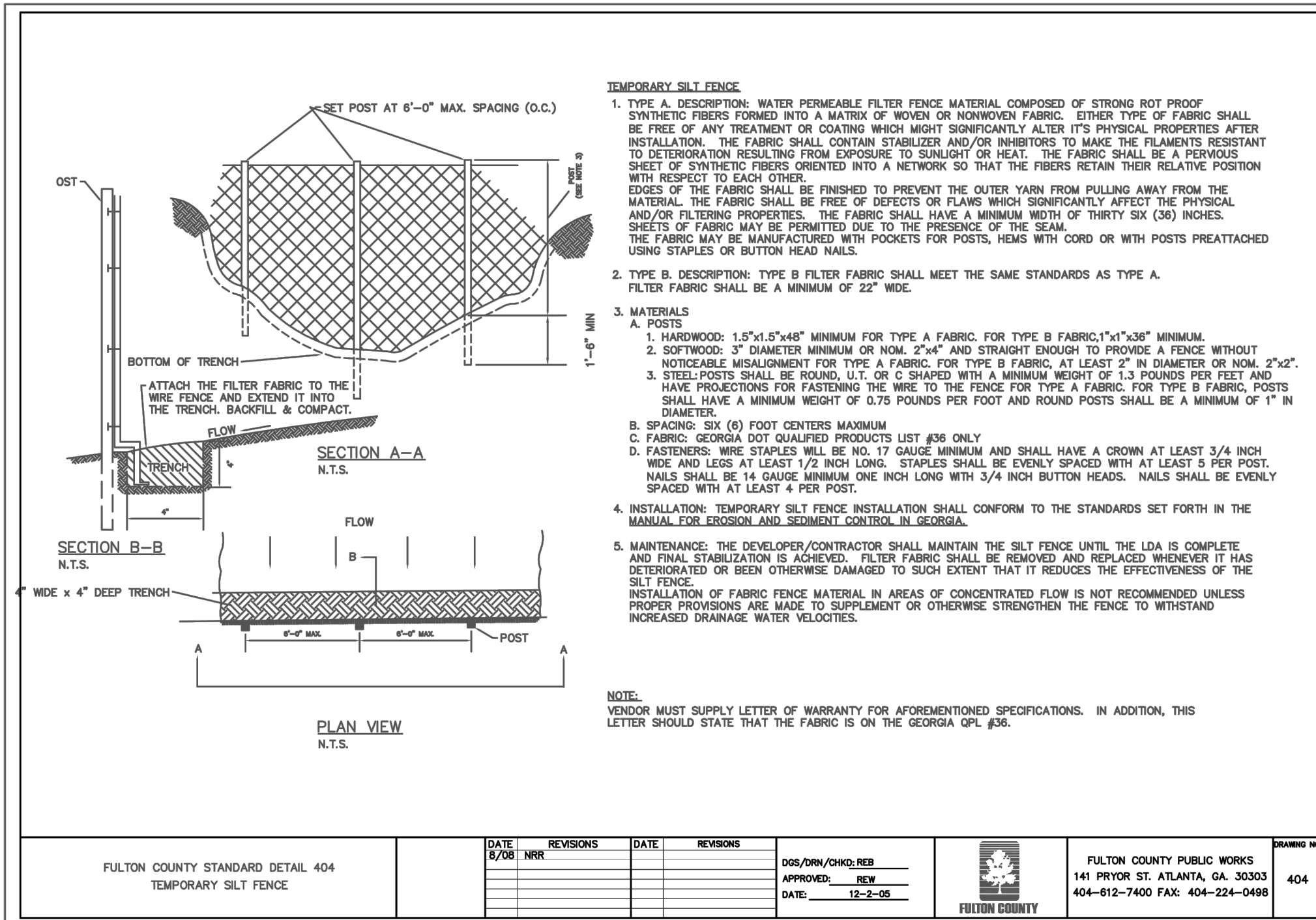
sheet #

NOTES:

This property is completely or partially within the Chattahoochee River Corridor. No land disturbance shall occur outside the approved limits.

Flood plain note: This property is not in a flood hazard area according to F.I.R.M. panel# 13121C0141F last revised on June 22, 1998. If the special flood hazard area has established elevations, then a surveyor or architect can certify this statement. If elevations have not been established then a registered engineer must provide calculations to establish the horizontal location and the elevation of the flood hazard. If property has special flood hazard area crossing its boundary line, a certificate of occupancy hold will be placed on the building permit until an elevation certificate is submitted certifying that the lowest floor elevation of the structure is a minimum of three (3) feet above the special flood hazard area elevation.

- A. This property is completely or partially within the Chattahoochee River Corridor. No land disturbance shall occur outside the approved limits.
- B. All construction must conform to City of Sandy Springs standards.
- C. Prior to commencing land disturbing activity, the limits of land disturbance shall be clearly and accurately demarcated with tree save fence, and shall remain marked throughout construction, until final stabilization.
- D. All erosion control measures shall be in place prior to commencing construction and shall be maintained in proper working order until all disturbed areas are stabilized.
- E. A copy of the approved land disturbance plan and river corridor certificate/permit shall be present onsite whenever land disturbing activity is in progress.
- F. A final on-site inspection by the Director of the Department of Community Development or his/her designee is required prior to the release of the Certificate of Occupancy. A certified as-built survey may be required.
- G. This plan is approved for River Corridor Only. It does not entitle land disturbing activity or construction of structures without first obtaining all applicable permits.

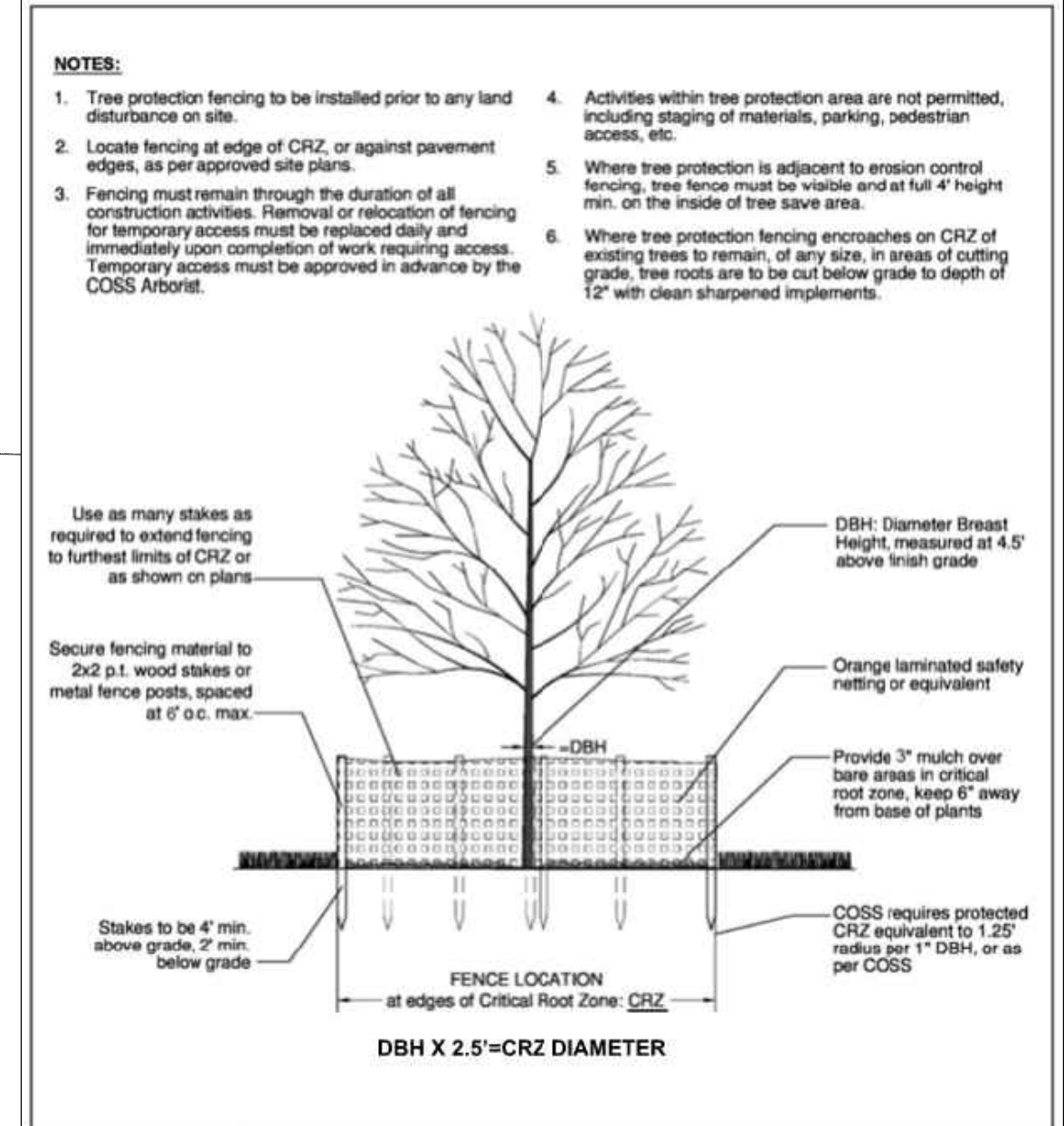
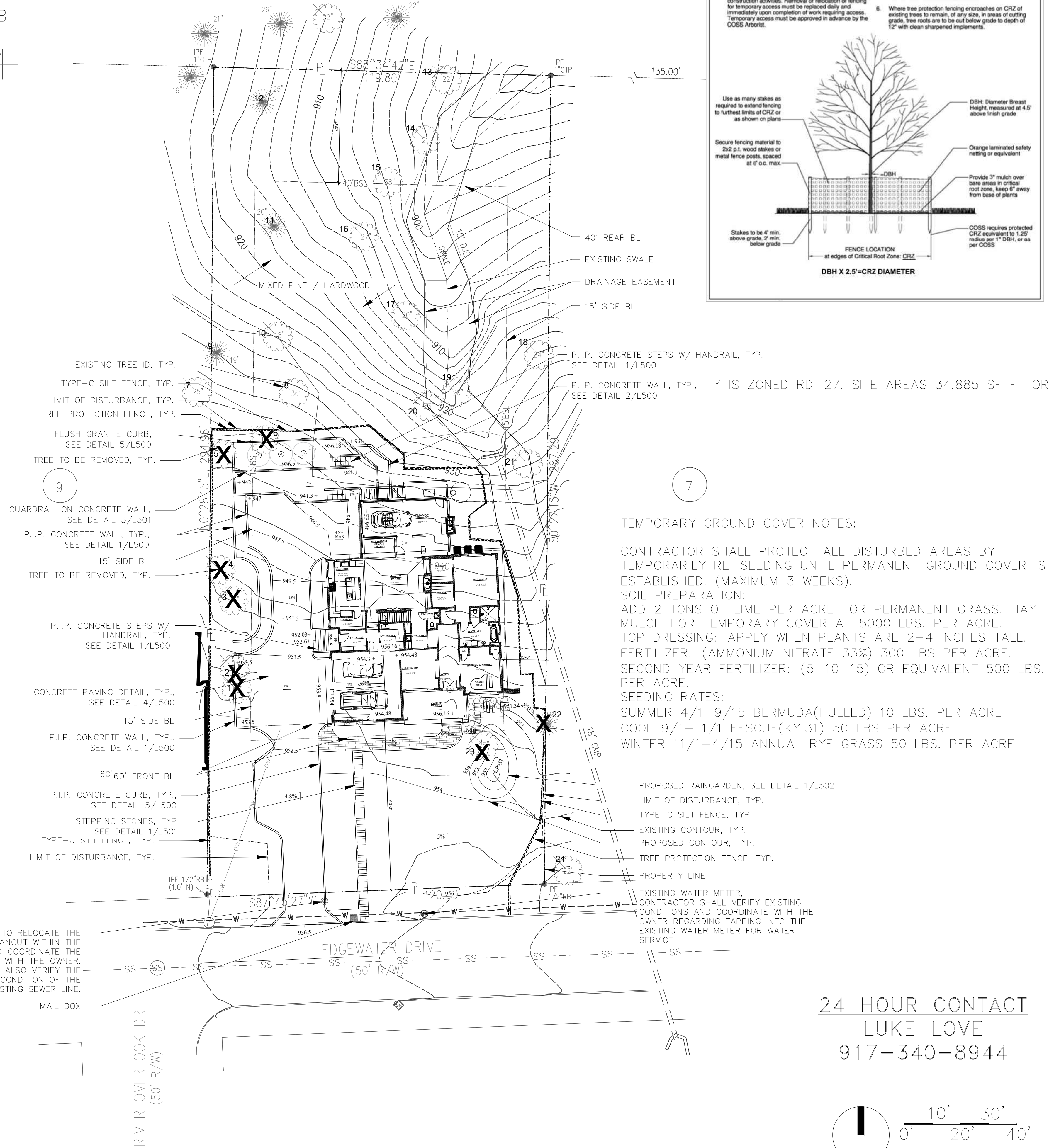
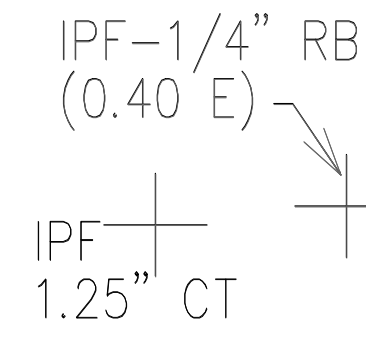


TOTAL AREA: 34887 SF - .8 AC

ARC CALCULATIONS

VULNERABILITY AREA C				
	AREA (SF)	ALLOWABLE	EXISTING	PROPOSED
TOTAL (INCLUDES EASEMENT)	31635			
DISTURBED EXISTING	4957			
DISTURBED PROPOSED	12948			
TOTAL DISTURBED	17905	70%		57%
EXISTING IMPERVIOUS	4957		16%	
PROPOSED IMPERVIOUS	4011			13%
TOTAL IMPERVIOUS	8968	45%		29%

THE RIVERSIDE SWIM & TENNIS CLUB



TEMPORARY GROUND COVER NOTES:

CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARILY RE-SEEDING UNTIL PERMANENT GROUND COVER IS ESTABLISHED. (MAXIMUM 3 WEEKS).

SOIL PREPARATION:
ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. HAY MULCH FOR TEMPORARY COVER AT 5000 LBS. PER ACRE. TOP DRESSING: APPLY WHEN PLANTS ARE 2-4 INCHES TALL.

FERTILIZER: (AMMONIUM NITRATE 33%) 300 LBS PER ACRE.

SECOND YEAR FERTILIZER: (5-10-15) OR EQUIVALENT 500 LBS. PER ACRE.

SEEDING RATES:
SUMMER 4/1-9/15 BERMUDA(HULLED) 10 LBS. PER ACRE
COOL 9/1-11/1 FESCUE(KY.31) 50 LBS PER ACRE
WINTER 11/1-4/15 ANNUAL RYE GRASS 50 LBS. PER ACRE



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consultant

sub-consultant



08/07/2025

seal

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RESIDENTIAL HOME & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

revisions

08/07/25

date

project #

LUKE LOVE

drawn by

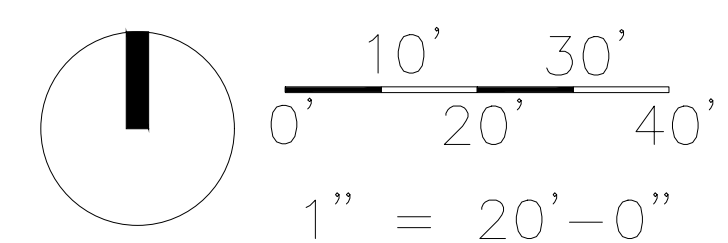
SITE PLAN (ARC)

sheet title

L100

sheet #

24 HOUR CONTACT
LUKE LOVE
917-340-8944



RELEASED FOR CONSTRUCTION

consultant

SPG SURVEYING, LLC

sub-consultant

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RESIDENTIAL RENOVATION & SITE IMPROVEMENTS

#	DATE	DESCRIPTION

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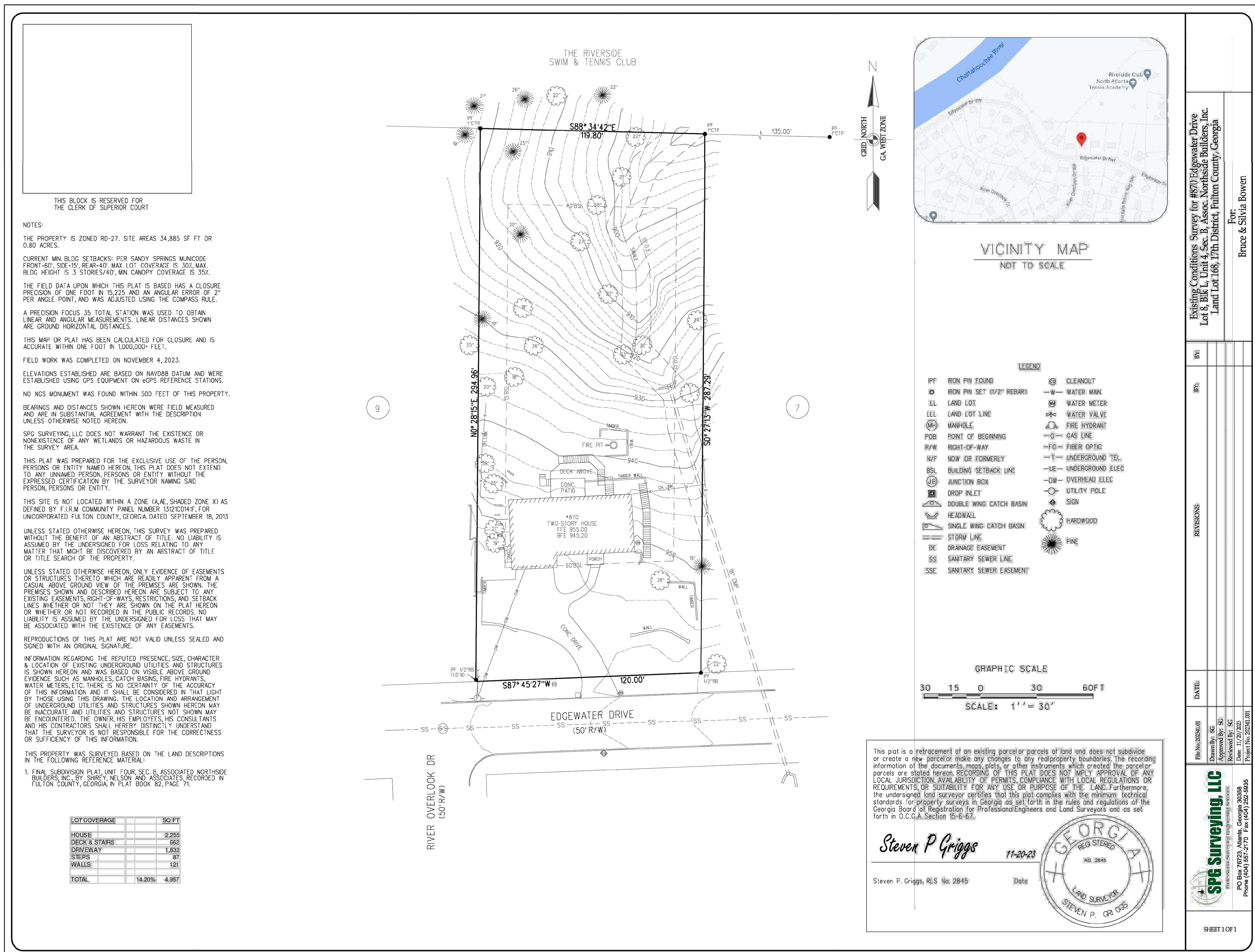
SITE SURVEY

sheet title

V100

sheet #

NOTE:
The survey data presented here is provided by third party sources. Love Land Design, LLC is not responsible for the accuracy or content of this survey.



Board of Appeals

February 4, 2026



SANDY SPRINGS
GEORGIA

V-25-53

870 Edgewater Drive

STAFF RECOMMENDATION:

Denial

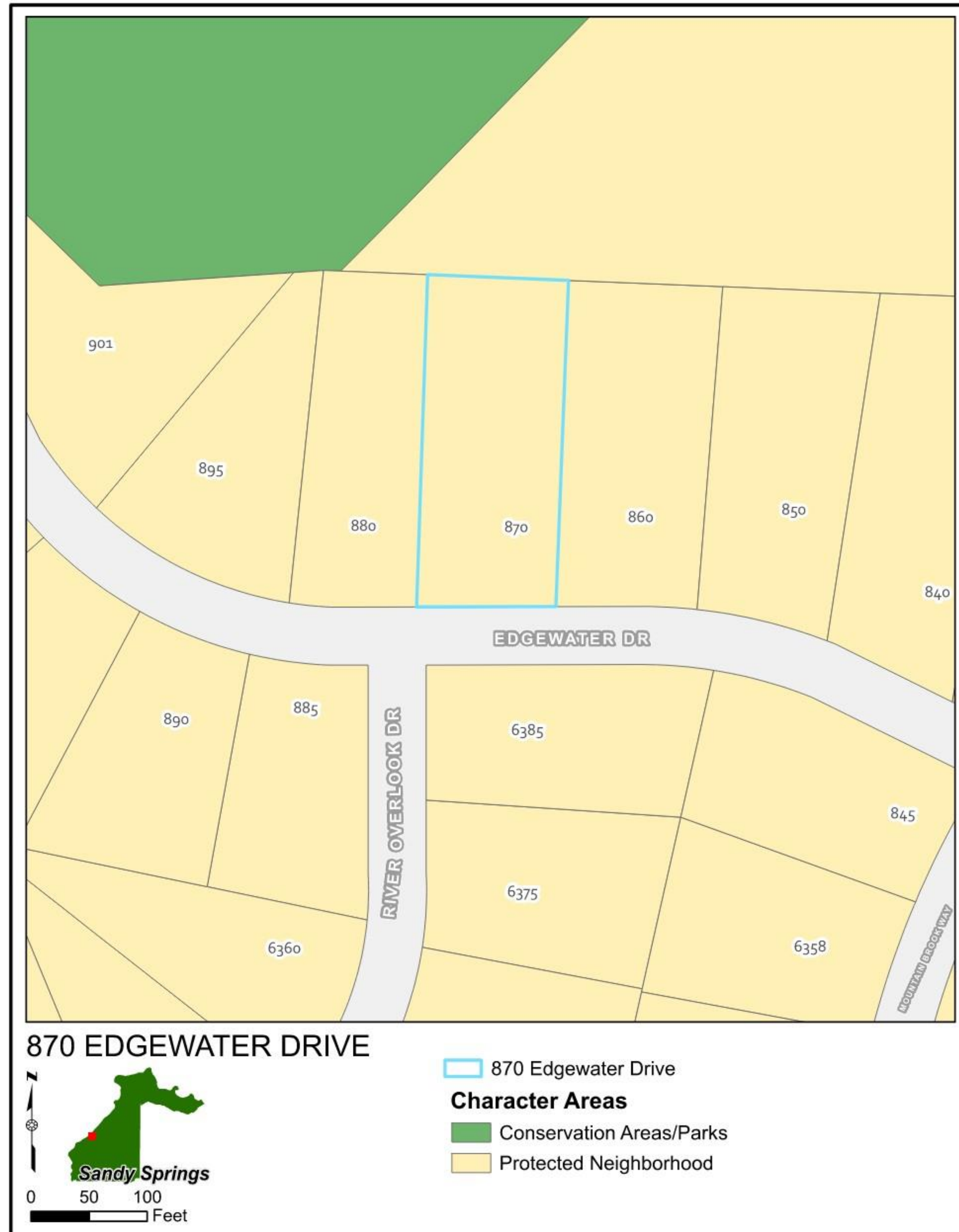


SANDY SPRINGS
GEORGIA

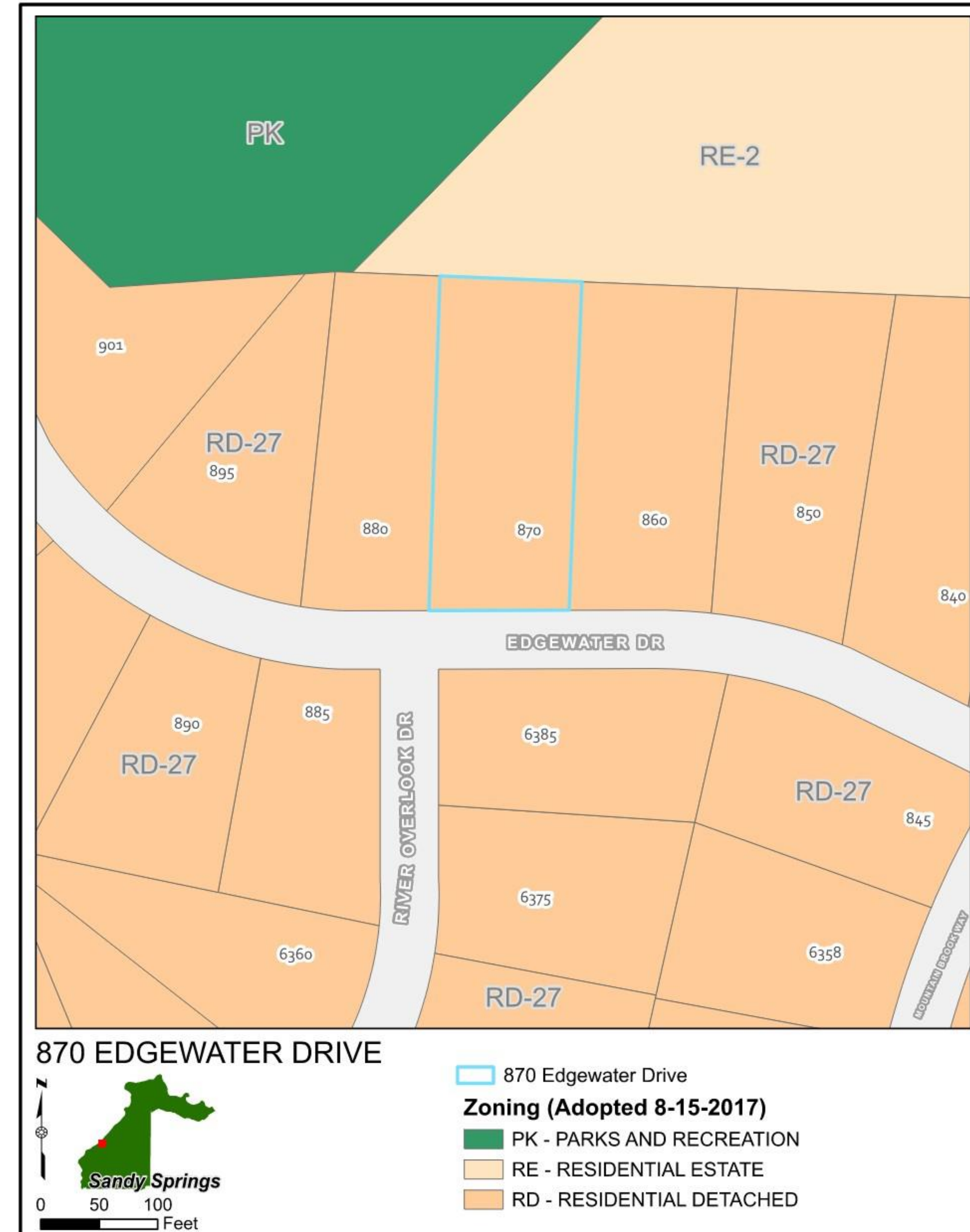
Request

- A request for a Variance from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

Character Area Map



Zoning Map



Aerial Image

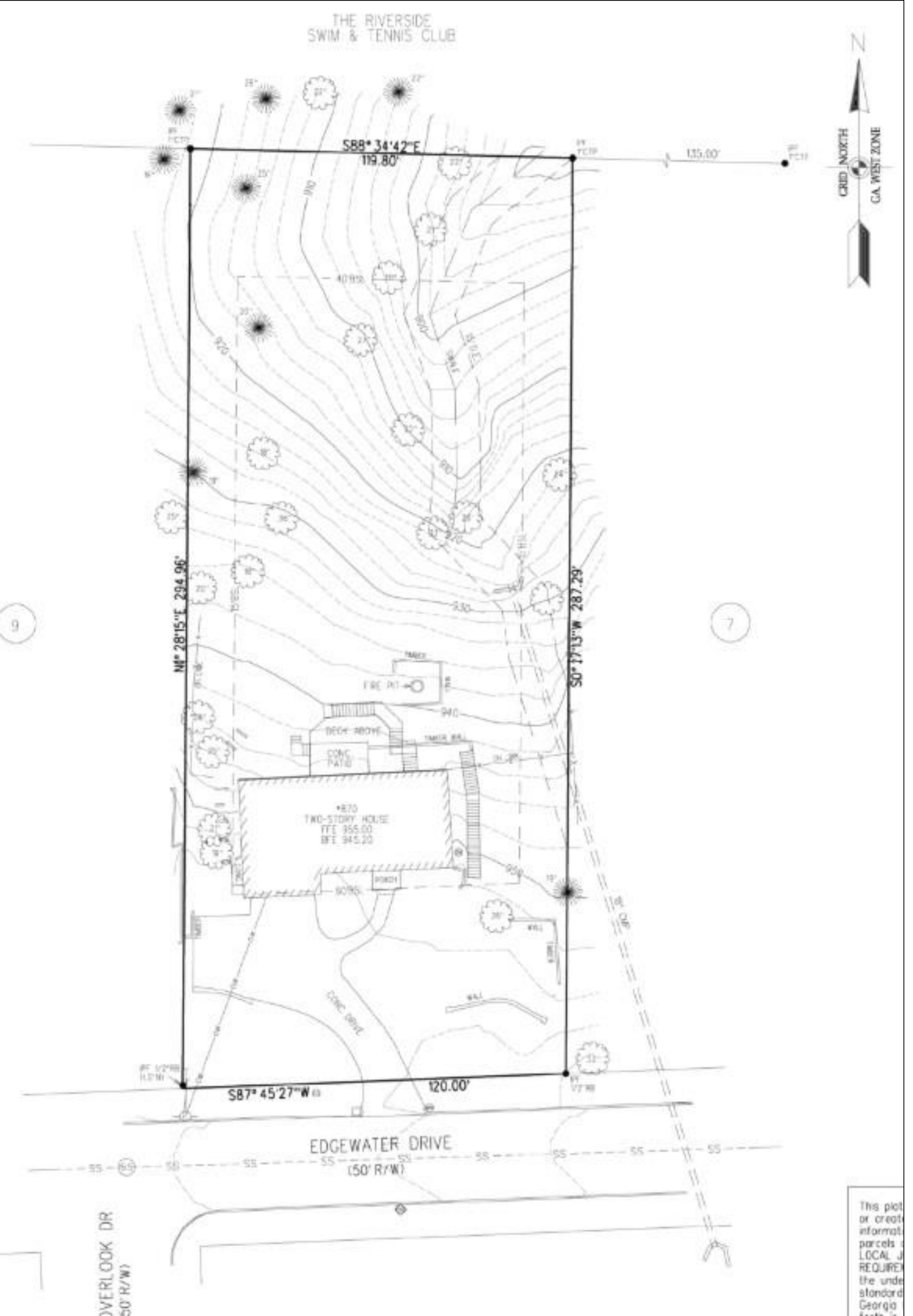


Aerial Explained

- The parcel is a rectangular shape with steep topography that slopes 20.75% downward from the street 954-feet-ASL*) to the rear (892-feet-ASL*) of the property, a change in elevation of 60 feet from the front of the property to the rear. There is an increase in steepness descending in the rear within the 40-foot rear setback. A 20-25% is generally considered as steep.
- Aerial view showing topography lines (in green) of subject property and surrounding parcels



Survey



Existing Conditions

- The 0.80-acre subject property is zoned RD-27 (Residential Detached – 27,000 square-foot minimum lot size) and sits on the Edgewater Drive. Based on Fulton County records, the lot was plated in 1968, and the present owners acquired the property in 1994 Located within the Riverside neighborhood
- The subject property is east of the Chattahoochee River and was developed with a 2-story home and 2-car garage and a driveway. The entire property sits within the Metropolitan River Corridor. The property is heavily wooded to the rear and sides; it also sits to the south of Old Riverside Park.
- A culvert easement and swale to route stormwater, run along the Northeast side of the property, making around 6,801 SF of the property unbuildable.

Existing Conditions



View of front of home facing north on Edgewater Drive



View of rear of home facing south

Existing Conditions

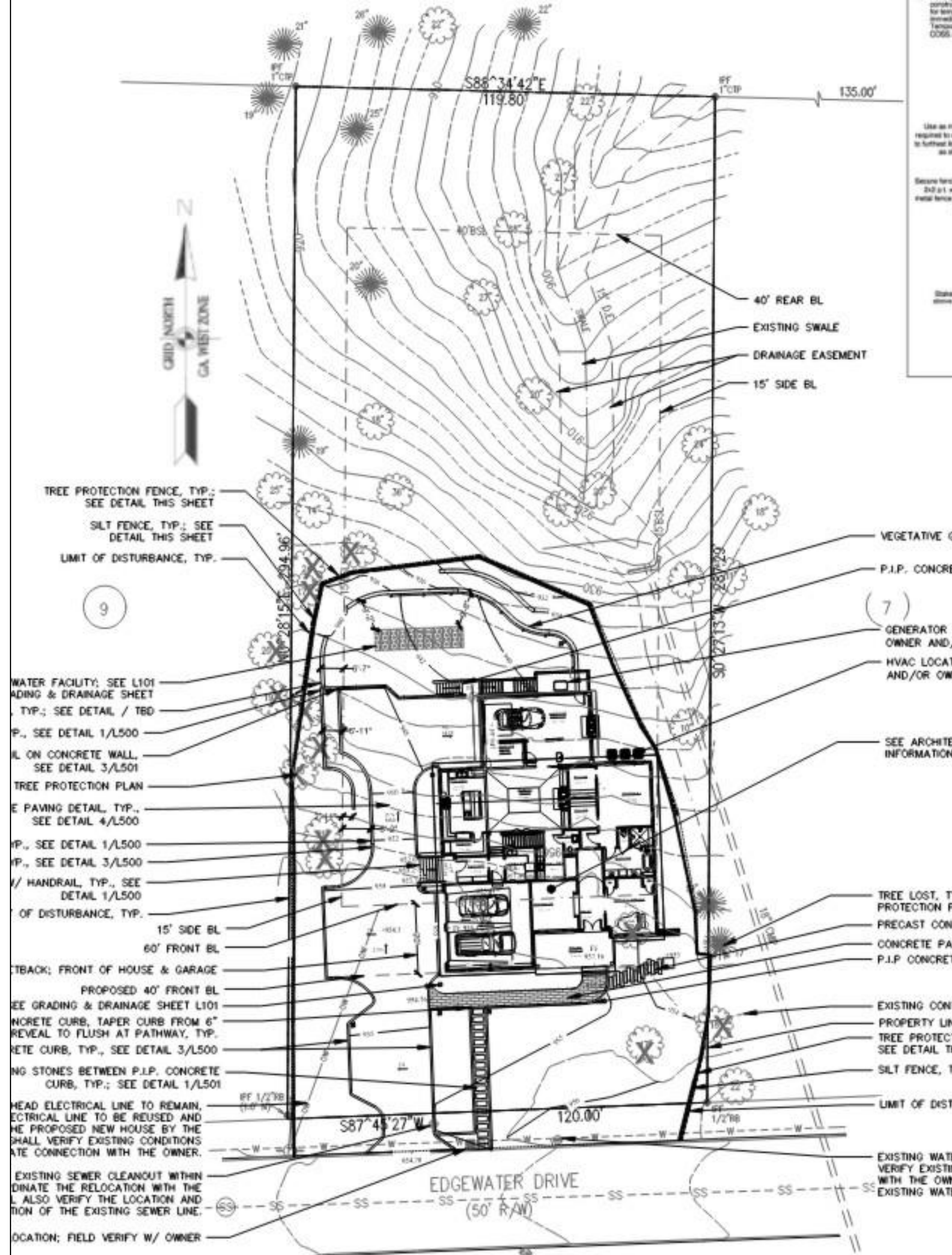


View of east side of the rear yard facing north



View of west side of the rear yard facing northwest

Site Plan

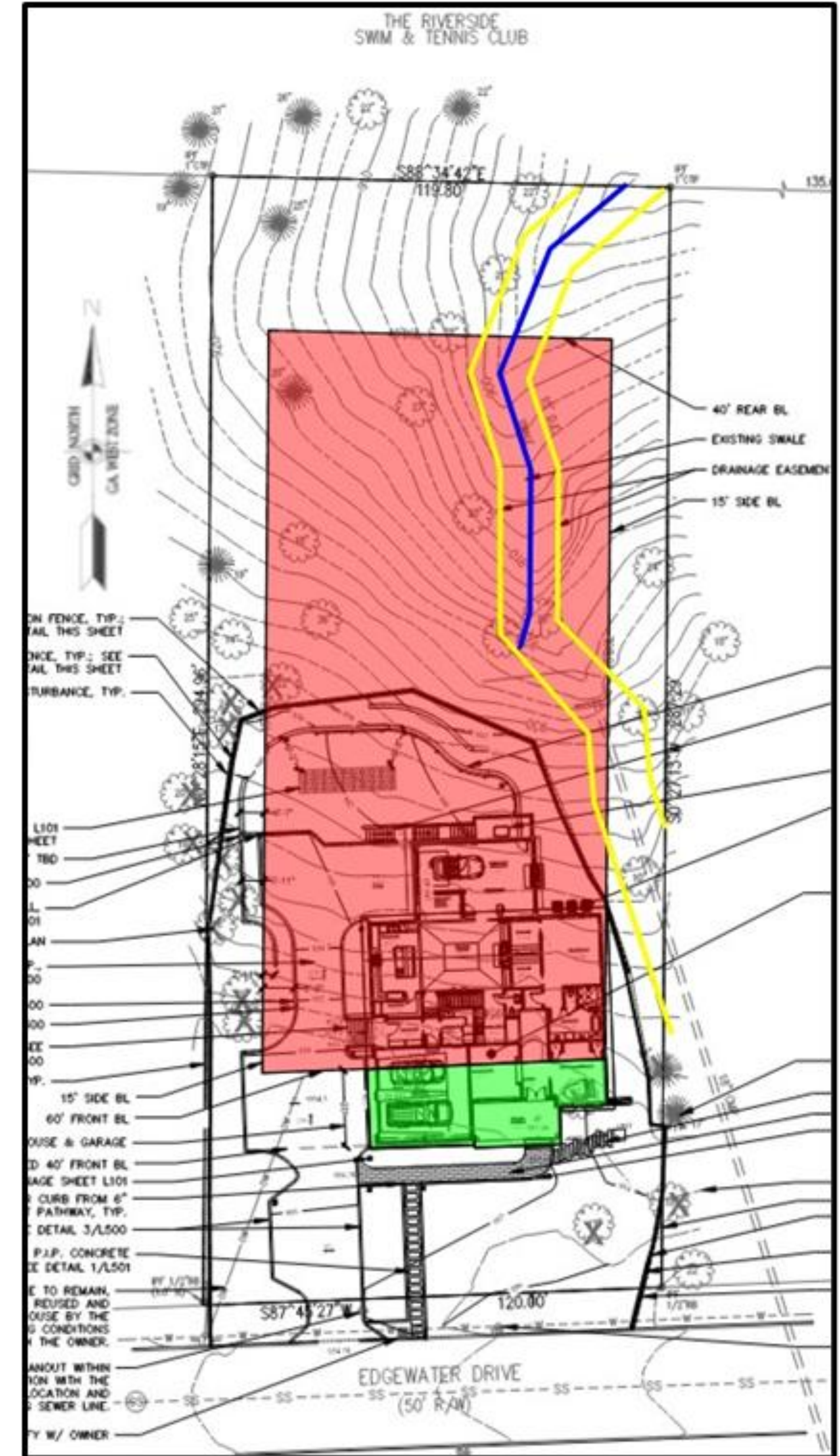


Proposed Development

- The applicants are proposing to demolish the current home and encroach into the 60-foot primary street setback by 20 feet for a new home.
- The home will have a main level, second level, and terrace level. The main level would have a master on the main, kitchen, family room, music room, 576 SF two-car garage, and 494 SF unheated screened porch. The second level would include 3 bedrooms, an office, and laundry room.
- The terrace level will be unfinished with 2 large rooms for water and sewage. There will also be a third garage under the screened porch, at the terrace level.
- The proposed development meets the Metropolitan River Corridor Act consistency with the River Corridor Plan.

Sec. 6.1.2.B. Setback Encroachments All buildings and structures must be located at or behind the required setbacks, except as listed below. No building or structure can extend into a required buffer, easement (including private street easement) or public right-of-way

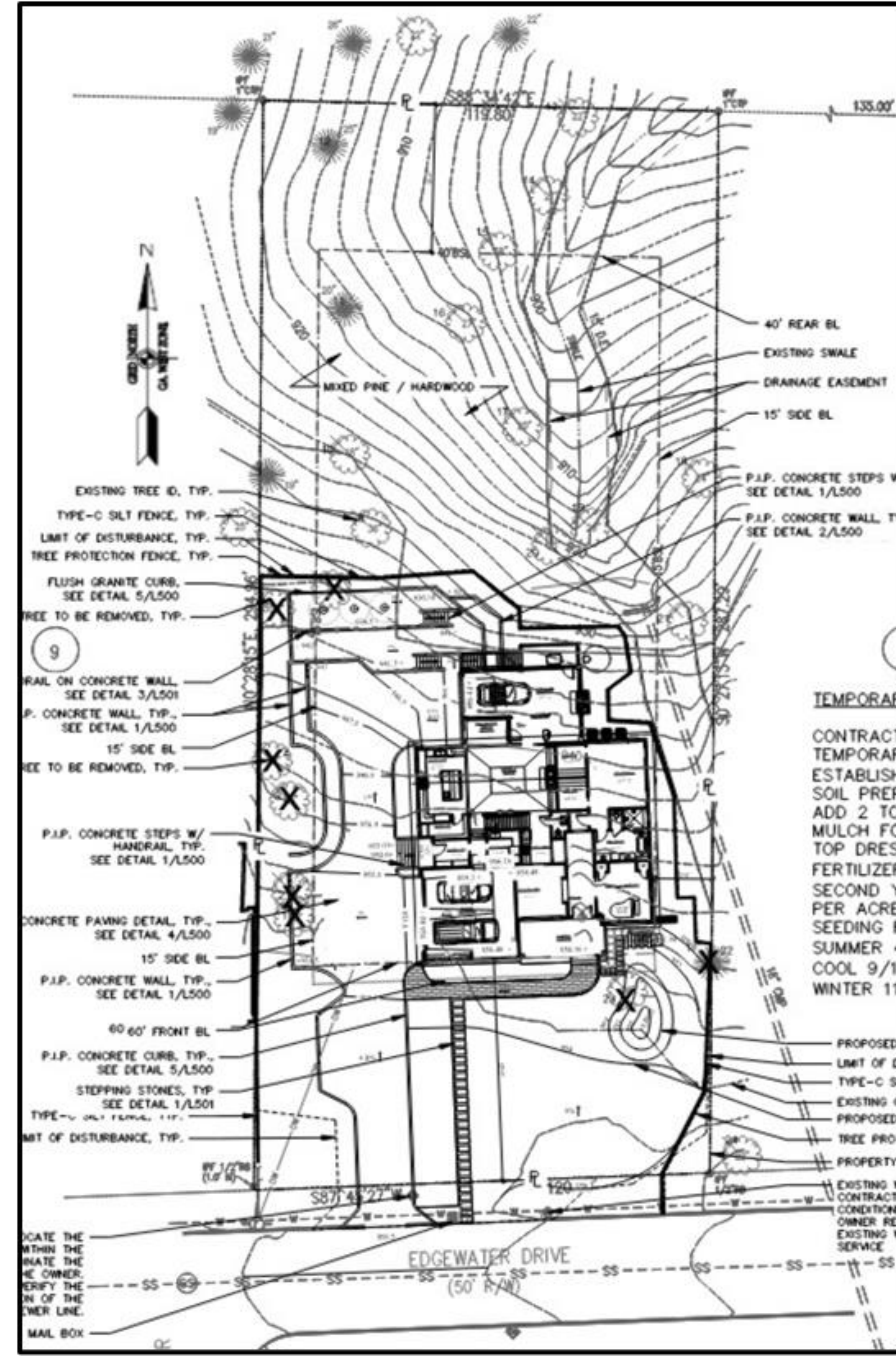
The applicants are proposing to build a new home that encroaches into the primary 60-foot street setback by 20 feet.



- The yellow lines indicate the existing drainage easement
- the blue line indicates the swale, the red shaded area indicates the buildable area
- the green shaded area indicates the 20 feet setback encroachment

Alternative Design

- The applicants provided a code compliant alternative design.
- All the site elements are located within the buildable area.



Variance Considerations:

a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;

The Development Code does not permit new builds to be nonconforming. The applicants are proposing their new home to encroach the 60-foot primary street setback by 20 feet. Staff believes that although the variance request maintains overall character of the existing home and the surrounding neighborhood, the minor deviation from the Development Code is non-compliant.

b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;

Staff believes the development would not be detrimental to the public safety, health, or welfare of the public or injurious to other properties.

c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;

The physical conditions of this property are not unique for Sandy Springs or this neighborhood in terms of topography. The 60-foot primary street setback is standard for the RD-27 zoning district, which applies to properties within the Riverside neighborhood. Staff notes this property, and its site elements are not unique to the neighborhood or Sandy Springs.

Variance Considerations (continued):

d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;

Given the physical conditions, size, shape, and topographical conditions of the property, an extraordinary hardship would not result if the strict letter of these regulations is carried out. Rather, it would be a mere inconvenience, not a hardship, for the applicant to redesign or reconfigure their proposed house plan to fit the parameters of the subject property.

e. The Variance requested is the minimum necessary to accomplish the development of building;

This property may be developed in compliance with the Code, however the house plan proposed by the applicants necessitates the requested variance, where a different or reconfigured building plan would allow development of this lot without the need for relief. This variance request is not necessary to accomplish development on this property.

f. Whether alternative designs are possible which require less intrusion or no intrusion;

The application does not show equal or greater protection to the adjacent property or natural resources; however, it also does not show detriment to the adjacent property or natural resources. The proposed development would be inconsistent with the neighborhood primary street setbacks.

Variance Considerations (continued):

g. Such conditions are not the result of action or inaction of the current property owner; and

The physical condition of the parcel is not a result of action or inaction of the current property owner; however, the proposed development is not appropriately designed to account for the conditions of the property.

2. Failure of an applicant to obtain a land disturbance, building or any other permit required by this Code shall not in and of itself constitute a justification for a variance absent a showing of the criteria listed under Section 1 above.

Finding: This variance request is not predicated on the failure of the applicant to obtain a land disturbance, building or any other permit required by this Code, but rather on the specific site conditions and circumstances cited in the application.

Recommendation

- Staff recommends **Denial** of Variance V-25-53 a request for relief from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.
- If the Board chooses to approve the variance, staff recommends the following condition(s):
 1. That construction be substantially similar to the provided site plan.



SANDY SPRINGS

GEORGIA

P&Z STAFF REPORT

Board of Appeals Meeting, February 4, 2026

Case: **V-25-54 – 701 Bass Way**
Staff Contact: Helen Owens (howens@sandyspringsga.gov)
Report Date: January 26, 2026

REQUEST

Request for a Variance from Sec. 6.1.2.B. to retain a building eave that encroaches into the 30-foot side street setback.

APPLICANT

Property Owners: Andrea Darweesh	Petitioner: Andrea Darweesh	Representative: Andrea Darweesh
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RECOMMENDATIONS

Department of Community Development

Staff recommends **Denial** of Variance V-25-54

MATERIALS SUBMITTED AND REVIEWED

Materials and Plans

1. “*Application*” received on November 19, 2025

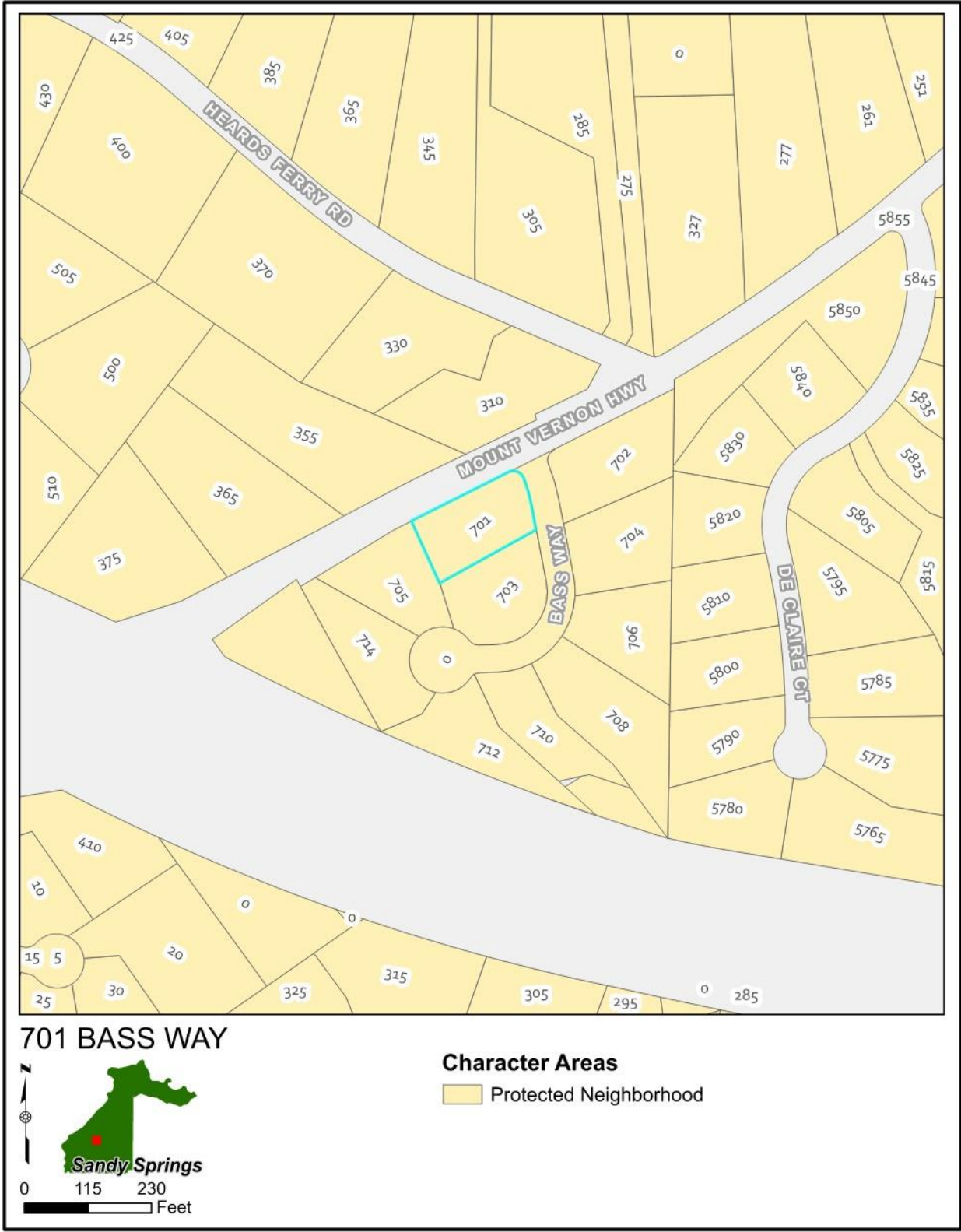
Plans

2. “*2112807-ASB-UPDATE ASB.pdf*” received on October 21, 2025. Prepared by Boundary Zone, Inc Stamped by Ben E. Butterworth

PROPERTY INFORMATION	
Location:	701 Bass Way (17 0133 LL1102)
Council District:	Council District 3 – Melissa Mular
Neighborhood:	Hardin Ridge Neighborhood Association
Road frontage:	Approximately 121 feet on Bass Way Approximately 205 feet on Mount Vernon Hwy NW
Lot Depth	Approximately 220 feet
Acreage:	Approximately 0.62 acre
Current Zoning	RD-27 (Residential Detached – 27,000 SF minimum lot size)
Existing Land Use:	Single-Family detached
Previous Zoning Cases:	CV201303645 & V201501169 – an approved concurrent variance to reduce the front yard setback from 60 feet to 40 feet RZ201303645 - an approved Zoning Map Amendment for a Single-Family Dwelling district in 2014.
Character Area:	Protected Neighborhood

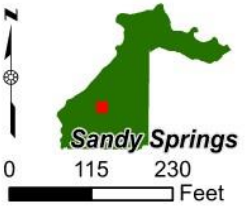
EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY			
Location relative to the subject property	Zoning	Address(es)	Land area (acres) (approximate)
North	RE-1 / Residential Estate	355 Mt. Vernon Hwy	2.65
North	RE-1 / Residential Estate	310 Heards Ferry Road NW	1.03
East	RD-27 / Residential Detached	702 Bass Way	0.67
South	RD-27 / Residential Detached	703 Bass Way	0.62
West	RD-27 / Residential Detached	705 Bass Way	0.62
PROPOSED DEVELOPMENT			
-	RD-27 / Residential Detached	701 Bass Way	0.62

CHARACTER AREA MAP

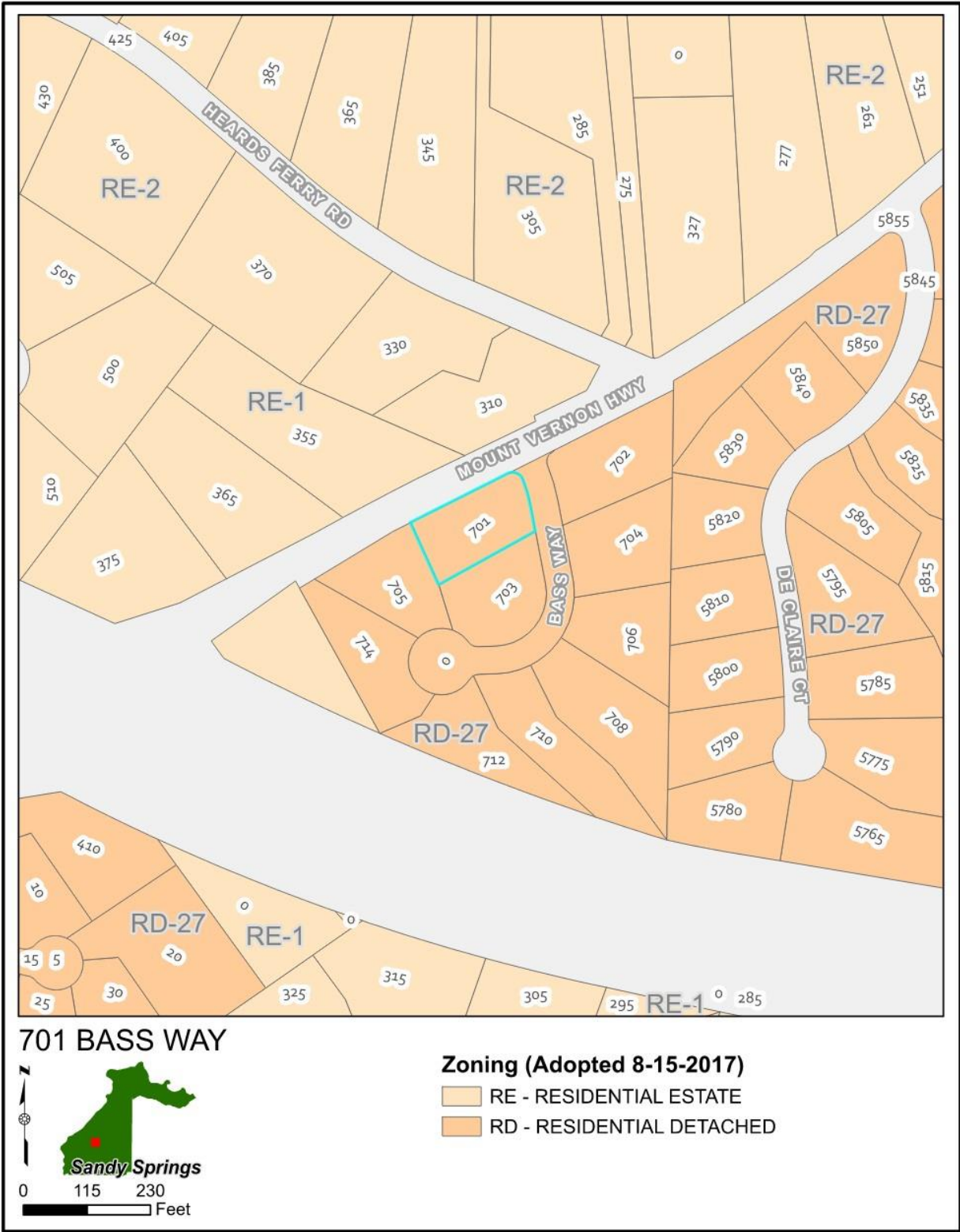




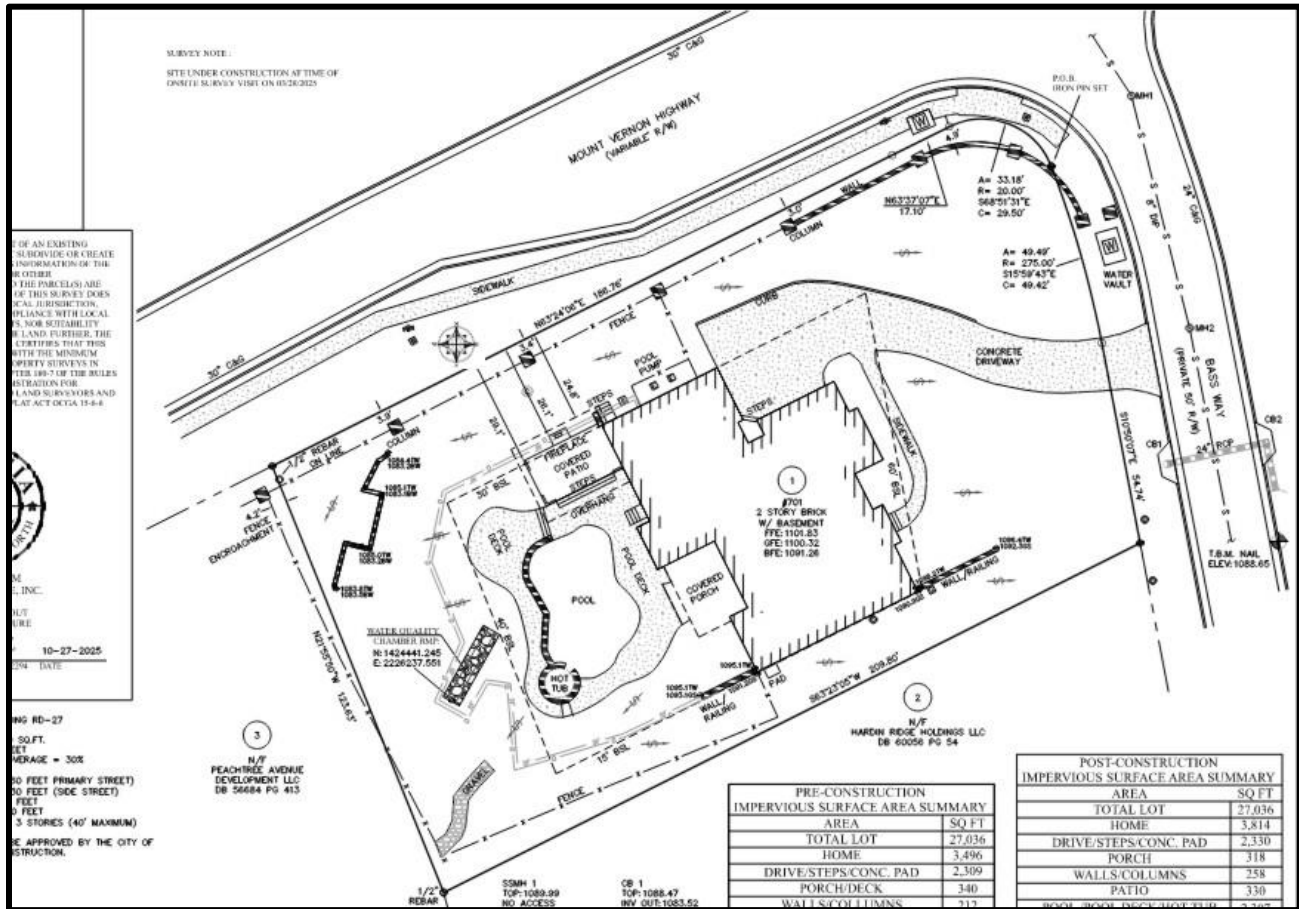
701 BASS WAY



ZONING MAP



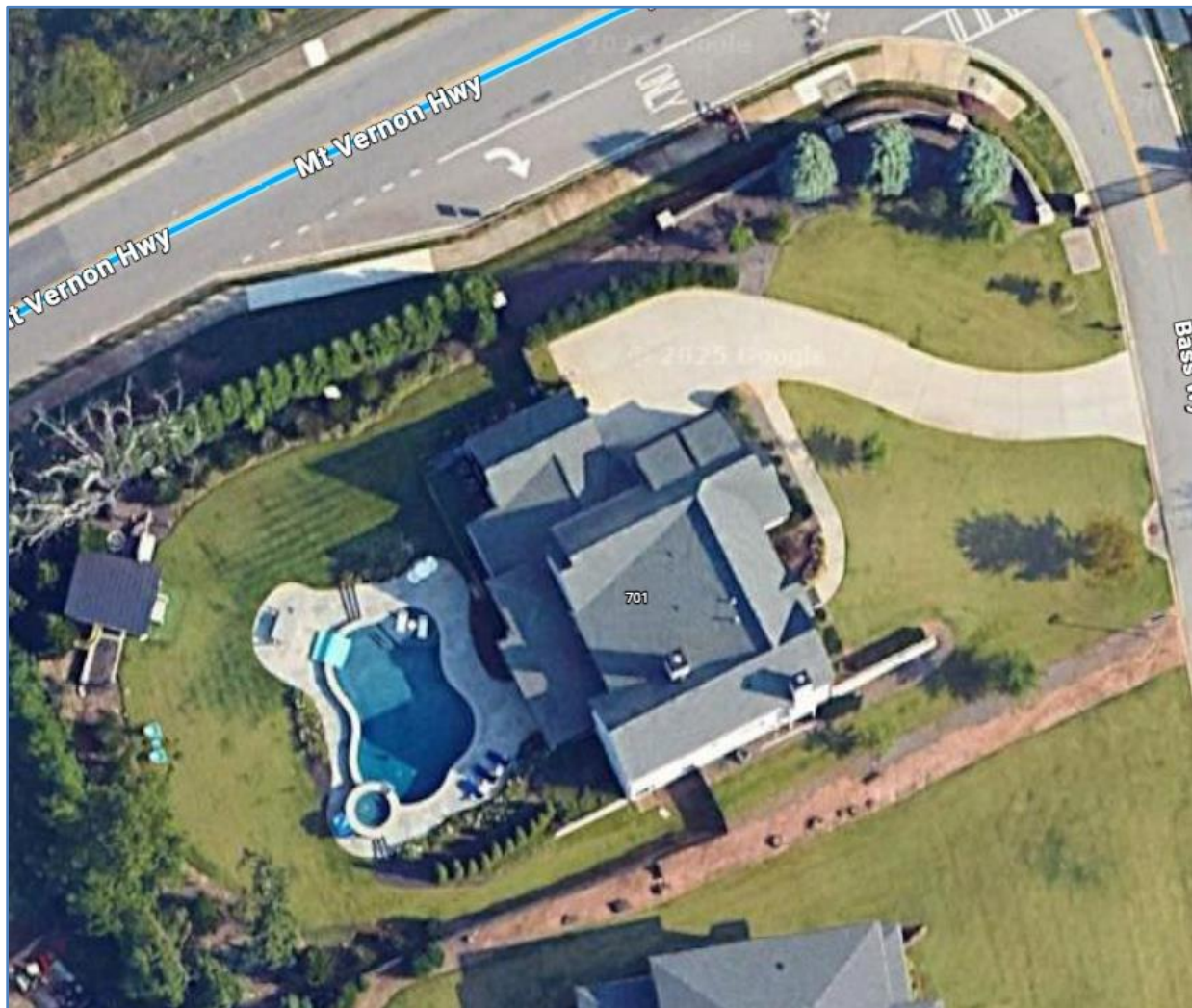
AS-BUILT SURVEY (received October 21, 2025)



EXISTING DEVELOPMENT

The 0.62-acre subject property is zoned RD-27 (Residential Detached – 27,000 square-foot minimum lot size) and sits on the corner of Mount Vernon Hwy and Bass Way. Based on Fulton County records, the lot was platted in 2018, and the present owner acquired the property in 2019. Located within the Hardin Ridge neighborhood, the subject property is north of Interstate 285 and south of Mount Vernon Hwy and is developed with a 2-story home, 3-car garage, covered porch, pool, pool deck, spa, covered patio with steps and a fireplace.

The eave encroachment covers the patio on the North side of the home that faces Mount Vernon Hwy. Evergreens screen the entire north side of the home, including the patio, while other trees and landscaping screen the rear neighbors' view of the building eave. The patio addition with the encroaching building eave was originally cited by Sandy Springs Code Enforcement, in February of 2025. The applicant paid a fine and agreed to work with City staff to mitigate north patio development. The agreement was for the applicant to remove the portions of the patio and eaves that were in violation of the Development Code. Alternatively, the applicant removed only the walls and steps that were part of the encroachment and neglected to remove the roof eave portion. The variance request is to allow the eaves to remain.



Aerial view showing the existing property and evergreens fronting Mount Vernon Hwy



View of home facing West from driveway



Angle of development showing eave encroachment facing South

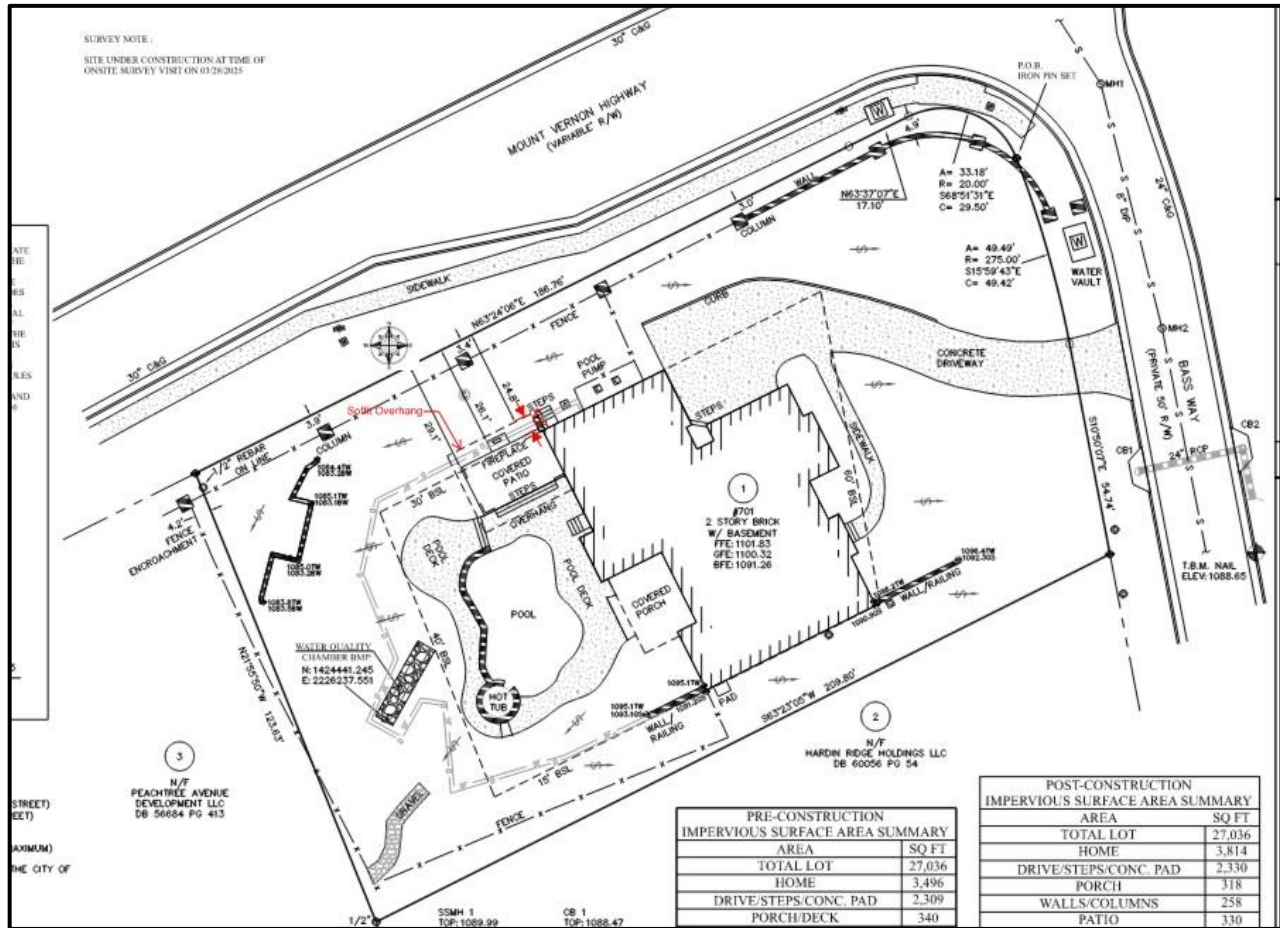


Angles of development showing eave encroachment and landscape screening facing Southwest



Views showing landscape screening facing North

AS-BUILT SURVEY MARKUP (received October 21, 2025)



VARIANCE REQUEST

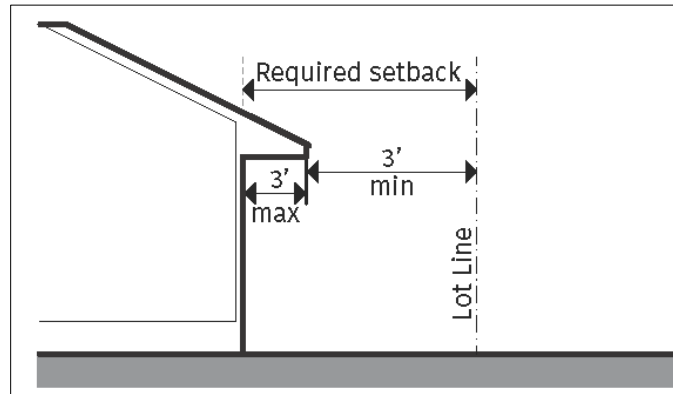
The applicants are proposing to retain a 5.2-foot building eave encroachment into the 30-foot side street setback on the north side of the property. The eave is part of an addition that includes a 330 square foot patio, fire place, and steps on the north side of the home. Evergreens and additional landscaping screen the entire northern street side of the home blocking any view of the eaves from Mount Vernon Hwy.

According to the Development Code Section 6.1.2.B Setback Encroachments:

1) *Building Features*

a) *All Setbacks.*

- i.) *Building eaves, roof overhangs, gutters, downspouts, light shelves, bay windows, and oriels less than 10 feet wide, cornices, belt courses, sills, buttresses, or other similar architectural features may encroach up to 3 feet into a required setback, if such extension is at least 3 feet from the vertical plane of any lot line.*



This proposal is seeking a variance to allow an existing building eave to encroach into the 30-foot side street setback, beyond the 3 feet that is allowed by the Development Code. The subject eave encroaches 5.2 feet into the setback, which is 2.2 feet more than allowable by code.

V-25-54 VARIANCE CONSIDERATIONS

Per Section 11.6.2. of the Development Code, the following list of approval criteria for a Variance provides guidance for making decisions on approval:

1. Variances will only be granted upon showing that:

- a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;**

Finding: The Development Code allows for an encroachment of a building eave of three feet into a required building setback without a variance, however the requested variance exceeds this allowance by 2.2 feet. Staff believe that although the variance request maintains overall character of the existing home and the surrounding neighborhood, the minor deviation from the Development Code is non-compliant.

- b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;**

Finding: Staff believes the development would not be detrimental to the public safety, health, or welfare of the public or injurious to other properties. The building eave encroachment is screened, on all sides, by tall evergreen trees and other landscaping.

- c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;**

Finding: According to the application, the construction of the encroaching eave was done by the builder unknowingly to the homeowners. The 30-foot side street setback is standard for the RD-27 zoning district, which applies to properties within the Hardin Ridge neighborhood. Staff notes this property, and its site elements are not unique.

- d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;**

Finding: The subject property does not exhibit unique physical conditions that distinguish it from other properties in the surrounding neighborhood. The lot's size, shape, and topography are consistent with nearby homes. Therefore, the hardship described is not the result of the physical characteristics of the land but rather of the existing structure and the effort required to bring it into compliance.

- e. The variance requested is the minimum necessary to accomplish the development or building;**

Finding: The property was developed with a two-story home featuring a porch, pool, deck, and three-car garage. The north covered patio, fireplace, and steps addition were not a necessity, and the home could be fully functional and compliant. Therefore, the variance is not the minimum necessary to accomplish the development.

- f. In the case of an amendment to a buffer or setback required by this Code, the variance application shows how equal or greater protection will be achieved of the adjacent property or natural resource affected by the proposed development, should the variance be granted; and;**

Finding: The eave encroachment extends 2.2 feet further into the side street setback than the code allows. The applicant does, however, have vegetative screening that prevents the roof eave from being seen from Mount Vernon Hwy and the neighboring properties.

g. Such conditions are not the result of action or inaction of the current property owner; and

Finding: The newly built addition including the building eave encroachment, are not pre-existing conditions to the lot. This addition was the direct action of the current property owner and builder.

2. Failure of an applicant to obtain a land disturbance, building or any other permit required by this Code shall not in and of itself constitute a justification for a variance absent a showing of the criteria listed under Section 1 above.

Finding: This variance request is a result of failure of the applicant to obtain a building permit required by this Code, but this in itself shall not constitute a justification for a variance absent of meeting the criteria above.

COMMENTS FROM OTHER PARTIES

Sandy Springs City Engineer:

No comment provided.

Sandy Springs Arborist:

No comment provided.

Sandy Springs Building Official:

No comment provided.

Sandy Springs Land Development Manager:

No comment provided.

Sandy Springs Chief Environmental Compliance Officer:

No comment provided.

Sandy Springs Fire Marshal:

No comment provided

Urban Forest Coordinator:

No comment provided.

Sandy Springs Transportation Planner:

No comment provided.

Sandy Springs Public Works:

No comment provided.

Correspondence Received:

No comment provided.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATIONS

Staff recommends **Denial** of Variance V-25-54 a request for a Variance from Sec. 6.1.2.B. to retain a building eave that encroaches into the 30-foot side street setback.

If the board chooses to approve the variance, staff recommends the following condition:

The homeowner(s) shall permanently maintain vegetative screening, consistent with Exhibit A, to preserve the intended visual buffer from Mount Vernon Highway and adjacent rear properties. This obligation remains in effect regardless of the condition, removal, or failure of any screening installed or maintained by the HOA.

Exhibit A



SPORTS

Holy Innocents' girls' basketball continues to thrive under new coach

By Greg Oshust
Sports Editor

The Holy Innocents' girls' basketball team reached the top of Georgia girls' high school basketball with a state championship in Class A-3A Private last year.

The Lady Bears are aiming for a second consecutive state title with a new coach as Nathan Teymer takes over for Nichole Dixon, who is now the basketball coach at Girls Preparatory School in Chattanooga, Tenn.

Holy Innocents' is continuing to thrive under its new coach, with a 9-5 overall record and 1-0 mark in Region 5AA as of Jan. 8.

Teymer has spent his coach-

ing career on the college level. He was the women's basketball coach at Southern Polytechnic State University in Marietta from 2005 to 2010 — leading SPSU to the Sweet 16 in the NAIA national tournament in '10 — as well as being the head women's coach at Augusta University (2010-17) and the associate women's head coach at Texas State (2017-25), before taking over a Holy Innocents' girls program that has won four state titles and made eight championship game appearances over the last 13 years.

"I've been in Texas the last eight years, but I was in Georgia for 17 years prior to that," Teymer said. "When I

was a college coach, I would always try to recruit Holy Innocents' players, just from that they were a talented group and also just from a maturity standpoint, academic standpoint. I just had a lot of respect and admiration for the school itself and so it was one of those things where I was thinking about making a lifestyle change, going from college to the high school ranks.

"My wife and I always loved the Atlanta area, so it was a really good fit when the job came open and just to be able to come back and be at a school — not just as a basketball program, but just a school with the kind of respect and reputation of Holy Innocents'."

The Lady Bears lost their first two games against defending state champions — losing to AAAAA champion River Ridge 61-60 Nov. 8 and AAAAA champion Newton 67-49 Nov. 15 — as well as losing to perennial AAAAA powerhouse Hillgrove 46-39 Nov. 18, before winning nine of their next 11 games.

"Overall, it has been a big learning process — getting to know the girls and the girls getting to know me," Teymer said. "We started off with some injuries at the beginning of the year, so we really didn't have our full roster. The starters are



Special Photo — Patrick Ammons

Holy Innocents' sophomore forward Loriel Murray (52) shoots a jumper during the Lady Bears' 72-60 victory over North Paulding at the Hawks-Naismith Tipoff Classic Nov. 22.

just trying to get chemistry. With our schedule, it's been very tough. I know they don't do a strength of schedule-type ranking, but I would feel we would be up there with strength of schedule just to show how difficult it has been. But that's a great thing for us, just to kind of prepare us for trying to make a run later on in the year."

Holy Innocents' suffered a big blow with the loss of junior wing Nakhai Worthy,

who is out for the season after suffering a knee injury in the Lady Bears' season opener against River Ridge.

However, the Bears still have plenty of talent on hand, with sophomore forward Loriel Murray, senior wing Elana McMasters — who scored a career-high 32 points in a 73-43 win over Heard County Dec. 30 — junior guard Makayla Weacer, sophomore guard Makenzie Weaver and sophomore for-

ward Aaniyah Branch.

"They all have different roles," Teymer said. "I think, probably, Loriel and Elana are probably more for the points, trying to be consistent with points every night. But it's one of those things where everyone has kind of their role. We play probably about seven players, so we're not the deepest team, but it's one of those things where if everyone can kind of come together, we should be OK."

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-53

Petitioner: Bruce and Silvia Bowen

Property Location: 870 Edgewater Drive
Parcel # 17 016800020083

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-60

Petitioner: Ravi and Anissa Durairaj

Property Location: 4825 Franklin Pond Road
Parcel # 17 006700070114

Current Zoning: RD-18

Request: Request for a Variance from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF ATLANTA REGIONAL COMMISSION
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

Petition Number: RC-25-06SS

Petitioner: Daniel Cipriani
400 Pilgrim Mill Road
Cumming, GA 30040

Property Location: 8935 River Landing Way
Sandy Springs, GA 30350
Parcel: 17 008000030012
LL 81, 17th District
Council District 2

Site Acreage: 1.042 acres

Request: The property owner proposes the construction of a new two-car garage. The site is located in Category "D" with a proposed impervious area of 9,923 SF and Category "E" with a proposed impervious area of 827 SF.

Public Hearing: Mayor and City Council
February 3, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Option: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.

By Rob Maaddi
Ap Pro Football Writer

The NFL coaching carousel keeps spinning.

Eight teams are seeking a new head coach after Baltimore fired John Harbaugh on Tuesday and Miami fired Mike McDaniel on Thursday. Others could join the search if their team is one-and-done in the playoffs. Harbaugh's sudden availability after 18 seasons with the Ravens could create a new opening.

Multiple teams are interested in Harbaugh, including a club without a current opening, two people with knowledge of the conversations told The Associated Press. Both spoke on condition of anonymity because the discus-

sions are private.

Teams with head coaches can't secretly work behind the scenes to hire Harbaugh or anyone else because the NFL adopted the Rooney Rule in 2003. It requires teams to conduct in-person interviews with at least two diverse — minority or female — candidates who don't currently work for the team.

The Buccaneers aren't among the teams looking for a new coach because Todd Bowles is staying put in Tampa Bay, a person with knowledge of the team's thinking told the AP.

Bowles is under contract for three more seasons and is returning for a fifth year as head coach despite a major collapse in the second half. The Bucs went from 6-2 to 8-9 and missed the playoffs after winning the NFC South for four straight seasons. Bowles was the defensive coordinator under Bruce Arians when Tom Brady led the Bucs to a Super Bowl title five years ago.

The New York Giants, Tennessee Titans, Atlanta Falcons, Arizona Cardinals, Cleveland Browns and Las Vegas Raiders also have current openings for a head coach.

Here are three more teams that could decide to make a coaching change:



Gene J. Puskar — AP

Baltimore Ravens head coach John Harbaugh, left, and Pittsburgh Steelers head coach Mike Tomlin, right, talk before an NFL football game Sunday, Jan. 4, 2026, in Pittsburgh.

BUFFALO BILLS

Sean McDermott has led the Bills (12-5) to the playoffs in eight of his nine seasons. But after five straight AFC East titles, they enter this postseason as a wild-card team with the No. 6 seed.

McDermott and Josh Allen have been under pressure to get to the Super Bowl after falling short in the conference championship game last year. They lost in the divisional round the previous three seasons. The Bills won't have to face Patrick Mahomes and the Chiefs, who knocked them out four times in the last five years.

The Bills are one-point favorites on the road against

Jacksonville on Sunday. If Buffalo loses, it might force a change despite McDermott's success.

GREEN BAY PACKERS

Matt LaFleur has led the Packers (9-7-1) to the playoffs six times in seven seasons. He guided them to three straight 13-win seasons in his first three years but they lost at home in the NFC championship game twice. They've been the No. 7 seed each of the last three seasons.

Green Bay is a one-point road favorite against division rival Chicago on Saturday night. The Packers and Bears split their season series.

Losing star pass rusher Micah Parsons was a major blow for Green Bay's Super Bowl hopes. LaFleur has a tough task this postseason.

PITTSBURGH STEELERS

Mike Tomlin was a missed 44-yard field goal from being eliminated and Harbaugh and the Ravens would be hosting the Houston Texans this week as the AFC North champion instead of the Steelers.

Tomlin is a Super Bowl champion coach who has led Pittsburgh for 19 seasons, one longer than Harbaugh was in Baltimore. He's 193-114-2 in the regular season and 8-11 in the playoffs. But the Steelers (10-7) haven't won a playoff game since 2016 and there's been speculation about Tomlin throughout the season. A loss Monday night to the Texans could lead to a change.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-54

Petitioner: Andrea Darweesh

Property Location: 701 Bass Way
Parcel # 17 0133LL1102

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to allow the encroachment of a building eave into the 30-foot side street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.



Sandy Springs Planning and Zoning

1 Galambos Way Sandy Springs, GA 30328
Tel. (770) 730-5600



Project Information Sheet

Property

Address: 701 BASS WAY, SANDY SPRINGS, GA, 30328
Parcel ID: 17 0133 LL1102

Applicant: Andrea Darweesh

Applicant Email: [REDACTED]

Applicant Phone: [REDACTED]

Application

Type of Variance: General

Description of Request:

Over the past year, my builder has constructed a covered porch on the northwest side of my property. While he made multiple modifications to the porch based on requests from the Sandy Springs Community Development Team, he ultimately constructed it such that the roof overhang of the structure is 5.2' into the prescribed 30' setback. The overhang should not constitute a disturbance, disruption, or inconvenience to our neighbors, as it is hidden by a long line of tall trees on the perimeter of the property. With that said, I do recognize that it was not built in accordance with the prescribed setback in mind, and would therefore like to request a proper variance for consideration. Thank you very much.

Current use of the property: Residential Use

Current Zoning: RD- Residential Detached

Petitioner:

Petitioner Address: , , ,

Phone:

Email:

Variance Analysis
701 Bass Way, Sandy Springs GA

Explain in detail, on a separate sheet, and for each Variance requested how:

- a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies
This statement is correct, as it would simply be a variance for a roof overhang on our property. While it does encroach into the setback, that is the only negative impact associated with the (hopeful) approval.
- b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;
This statement is correct, as it would simply be a variance for a roof overhang on our property. While it does encroach into the setback, that is the only negative impact associated with the (hopeful) approval.
- c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;
This statement is correct, as it would only impact our property located at 701 Bass Way and not any others.
- d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result; as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;
This statement is correct, as the denial of this variance would result in the disassembly of the entire roof associated with this structure. Unfortunately, the builder has left us in an extremely difficult situation as he constructed this without explaining the implications and undoing what he has done would cause us an extreme amount of additional money and work.
- e. The variance requested is the minimum necessary to accomplish the development or building;
This statement is correct, as it would allow us to avoid tearing the structure down and reconstructing it.
- f. In the case of an amendment to a buffer or setback required by this Code, the variance application shows how equal or greater protection will be achieved of the adjacent property or natural resource affected by the proposed development, should the variance be granted; and
I don't believe this is applicable, as there is not a property directly bordering the side of our property upon which the setback sits. Further, the area in question is bordered by ~20 foot tall trees and is the roof in question is therefore not visible to anyone outside the property.
- g. Such conditions are not the result of action or inaction of the current property owner
This statement is correct, as it was our builder who (after numerous meeting with the Sandy Springs Community Development Team) constructed this structure with a roof overhang in the setback without making us aware of it.

Date: November 17, 2025

Attn: City of Sandy Springs
Variance Department

From: Andrea Darweesh
701 Bass Way

Re: Letter of Intent

To Whom It May Concern:

I am submitting this request for a variance for my residential property located at **701 Bass Way**. A small section of the roof associated with our recent new addition encroaches slightly (5.2 feet) into the required setback on the north side of the home. The encroachment is minimal, and the affected roof area is **not visible from any neighboring property** because that side of the property is bordered by ~20 foot trees.

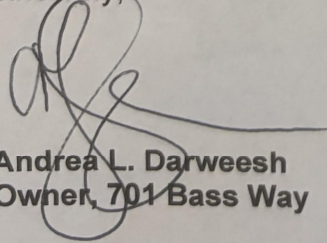
This issue occurred when the builder constructed an addition and failed to account for the setback line during installation. The mistake was not intentional, and it was **not created by us as the homeowners**. We are now working to resolve the zoning issue properly and transparently.

Unfortunately, the only way (outside of requesting this variance) to rectify the issue at this point would be to remove the portion of the roof that encroaches into the setback, which would also mean removing the majority of the

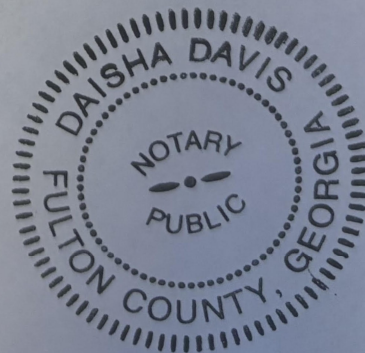
Granting this variance will not negatively impact any surrounding properties, will not alter the character of the neighborhood, and will correct an issue caused by the builder's oversight. The request represents the minimum relief needed to bring the property into compliance, and removing or reconstructing the roof section would be unnecessarily burdensome relative to the scale of the encroachment.

Thank you in advance for your consideration.

Sincerely,



Andrea L. Darweesh
Owner, 701 Bass Way



Daisha 11/17/25

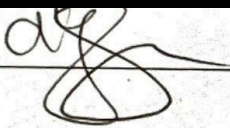
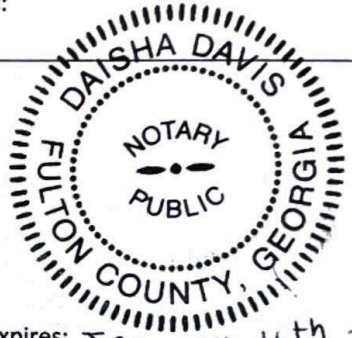


SANDY SPRINGS
COMMUNITY DEVELOPMENT

Failure to complete any of these requirements may result in an administrative hold, and the case will be rescheduled to a future filing cycle.

AUTHORIZATION FORM – PART I

The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the Authorization Form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this Application.	
Owner's name: <u>ANDREW DARWEECH</u>	Sworn and subscribed before me this
Address: <u>701 BASS WAY</u> <u>Atlanta, GA 30328</u>	
City, State, Zip Code:	<u>17</u> th day of <u>November</u> 20 <u>25</u>
Email address: [REDACTED]	Notary public:
Phone number: [REDACTED]	Seal:
Owner's signature: 	
	Commission expires: <u>January 16th, 2029</u>

A- If the Applicant is *not* the owner of the subject property:

Fill out the following section, check the appropriate statement and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or	
<input type="checkbox"/> He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or	
<input type="checkbox"/> He/she has an estate of years which permits the Applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	<u> </u> th day of <u> </u> 20 <u> </u>
City, State, Zip Code:	Notary public:
Email address:	Seal:
Phone number:	
Applicant's signature:	

Campbell & Brannon, LLC
One Buckhead Plaza
3060 Peachtree Road, Suite 1735
Atlanta, GA 30305
File No.: HB192451C
(Phone No.: (404)504-8700)

STATE OF GEORGIA
COUNTY OF FULTON
PARCEL ID NUMBER: 17-0133-LL-110-2

LIMITED WARRANTY DEED

THIS INDENTURE, made on **27th day of September, 2019**, between

Peachtree Avenue Development, LLC

(hereinafter referred to as "Grantor") and

Andrea L. Darweesh

(hereinafter referred to as "Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits; WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

All that tract or parcel of land lying and being in Land Lot 133 of the 17th District of Fulton County, Georgia, and being Lot 1 of Hardin Ridge Subdivision, as shown on plat recorded in Plat Book 386, Pages 132-134, Fulton County, Georgia records, which plat is incorporated herein by reference and made a part hereof.

TOGETHER WITH all and singular the rights, members and appurtenances thereto (hereinafter collectively referred to as the "Premises"), the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee. Subject to all easements, rights of way, and restrictive covenants of record (hereinafter referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE, and Grantor will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

Signed, sealed and delivered in the presence of:

Unofficial Witness

Notary Public
My Commission Expires:
[Attach Notary Seal]



Peachtree Avenue Development, LLC

BY: 
Stewart Weinhoff
its Manager

SURVEY NOTE :
 SITE UNDER CONSTRUCTION AT TIME OF
 ONSITE SURVEY VISIT ON 03/28/2025

THIS SURVEY IS A RETRACEMENT OF AN EXISTING PARCEL OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL. THE RECORDING INFORMATION OF THE DOCUMENT(S), MAP(S), PLAT(S) OR OTHER INSTRUMENT(S) WHICH CREATED THE PARCEL(S) ARE STATED HEREON. RECORDATION OF THIS SURVEY DOES NOT IMPLY APPROVAL OF THE LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHER, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS MAP, PLAT, OR PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT OCGA 15-6-6



FOR THE FIRM
 BOUNDARY ZONE, INC.
 LSF #839
 NOT VALID WITHOUT
 ORIGINAL SIGNATURE

Ben E. Butterworth
 10-27-2025
 BEN E. BUTTERWORTH RLS #2294 DATE

CITY OF SANDY SPRINGS ZONING RD-27

MINIMUM LOT AREA = 27,000 SQ.FT.
 MINIMUM LOT WIDTH = 120 FEET
 MAXIMUM IMPERVIOUS LOT COVERAGE = 30%
 CANOPY COVERAGE = 35%
 MINIMUM FRONT SETBACK = 60 FEET PRIMARY STREET
 MINIMUM FRONT SETBACK = 30 FEET (SIDE STREET)
 MINIMUM SIDE SETBACK = 15 FEET
 MINIMUM REAR SETBACK = 40 FEET
 MAXIMUM BUILDING HEIGHT = 3 STORIES (40' MAXIMUM)

ALL ZONING MATTERS MUST BE APPROVED BY THE CITY OF SANDY SPRING PRIOR TO CONSTRUCTION.

INFORMATION OBTAINED FROM
 PB 386, PG 132
 FULTON COUNTY RECORDS

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON.

FLOOD HAZARD STATEMENT:

THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF SANDY SPRINGS AS SHOWN ON PANEL #13121C0142F, EFFECTIVE ON 09/08/2013

- PROPERTY CORNER FOUND (AS NOTED)
- MANHOLE
- ⊠ A/C UNIT
- ⊠ GAS VALVE
- S— SEWER LINE
- G— GAS LINE
- DB DEED BOOK
- F.K.A. FORMERLY KNOWN AS
- 1/2" REBAR WITH CAP SET LSF# 839
- ⊠ CLEAN OUT
- C— GUY WIRE
- ⊠ CABLE BOX
- G— GAS LINE
- PB PLAT BOOK
- ⊠ R/W MONUMENT
- ⊠ WATER METER
- R/W RIGHT-OF-WAY
- C— CABLE LINE
- PG PAGE
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ JUNCTION BOX
- T— TELEPHONE LINE
- POB POINT OF BEGINNING
- ⊠ LIGHT POLE
- ⊠ WATER VALVE
- ⊠ OUTFLOW STRUCTURE
- X— TELEPHONE LINE
- POC POINT OF COMMENCEMENT
- ⊠ POWER POLE
- ⊠ DRAINAGE INLET
- ⊠ REGULAR PARKING
- X— FENCE LINE
- A.K.A. ALSO KNOWN AS
- ⊠ POWER/LIGHT POLE
- ⊠ HANDICAP
- U— OVERHEAD UTILITY LINE
- ⊠ OVERHANG
- ⊠ GAS METER
- 920— CONTOUR LINE
- ⊠ OVERHANG
- ⊠ GAS METER
- ⊠ HARDWOOD TREE
- ⊠ PINE TREE

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

© COPYRIGHT 2025 - BOUNDARY ZONE, INC.
 THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 0.621 ACRES / 27,035 SQUARE FEET

BOUNDARY REFERENCE: DEED BOOK 56684, PAGE 413, PLAT BOOK 386, PAGE 132
 FIELDWORK PERFORMED ON 03/28/2025

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 269,786 FEET.

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE ROBOTIC TOTAL STATION.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF 0.02 FEET.



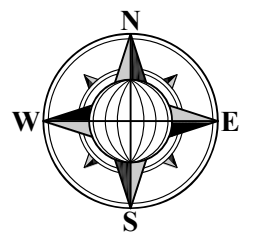
BOUNDARY
 zone, inc. SURVEYORS, ENGINEERS AND LAND PLANNING
 800 SATELLITE BLVD., SUWANEE, GA 30024
 WWW.BOUNDARYZONE.COM (770) 271-5772
 INFO@BOUNDARYZONE.COM

PROVIDING SERVICES FOR METRO ATLANTA, RALEIGH-DURHAM & CENTRAL FLORIDA.

PROJECT
 2112804

SHEET
 1 OF 1

DWN:BH

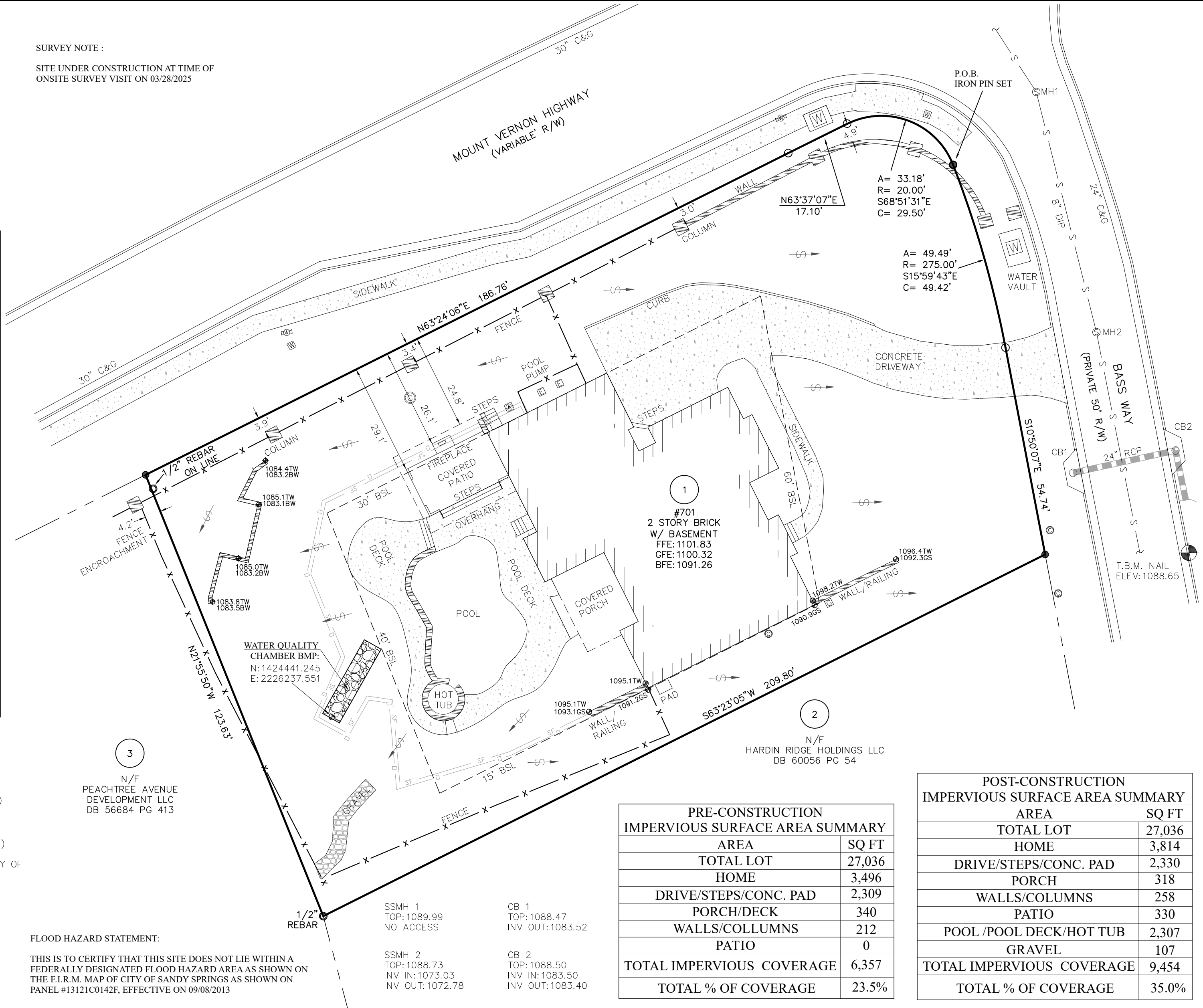


GRID NORTH
 GA WEST NAD 83
 DATUM NAVD 88

SCALE: 1" = 20'

NO.	REVISION	DATE
1		
2		
3		
4		
5		

GRAPHIC SCALE - IN FEET
 0 20 40



PRE-CONSTRUCTION IMPERVIOUS SURFACE AREA SUMMARY	
AREA	SQ FT
TOTAL LOT	27,036
HOME	3,496
DRIVE/STEPS/CONC. PAD	2,309
PORCH/DECK	340
WALLS/COLLUMNS	212
PATIO	0
TOTAL IMPERVIOUS COVERAGE	6,357
TOTAL % OF COVERAGE	23.5%

POST-CONSTRUCTION IMPERVIOUS SURFACE AREA SUMMARY	
AREA	SQ FT
TOTAL LOT	27,036
HOME	3,814
DRIVE/STEPS/CONC. PAD	2,330
PORCH	318
WALLS/COLUMNS	258
PATIO	330
POOL /POOL DECK/HOT TUB	2,307
GRAVEL	107
TOTAL IMPERVIOUS COVERAGE	9,454
TOTAL % OF COVERAGE	35.0%

ASBUILT SURVEY
 PREPARED FOR: ANDREA DARWEESH
 LOT 1, HARDIN RIDGE S/D
 LAND LOT 133, 17TH DISTRICT,
 FULTON COUNTY, GEORGIA - 10/24/2025

Board of Appeals

February 4, 2026



SANDY SPRINGS
GEORGIA

V-25-54

701 Bass Way

STAFF RECOMMENDATION:

Denial

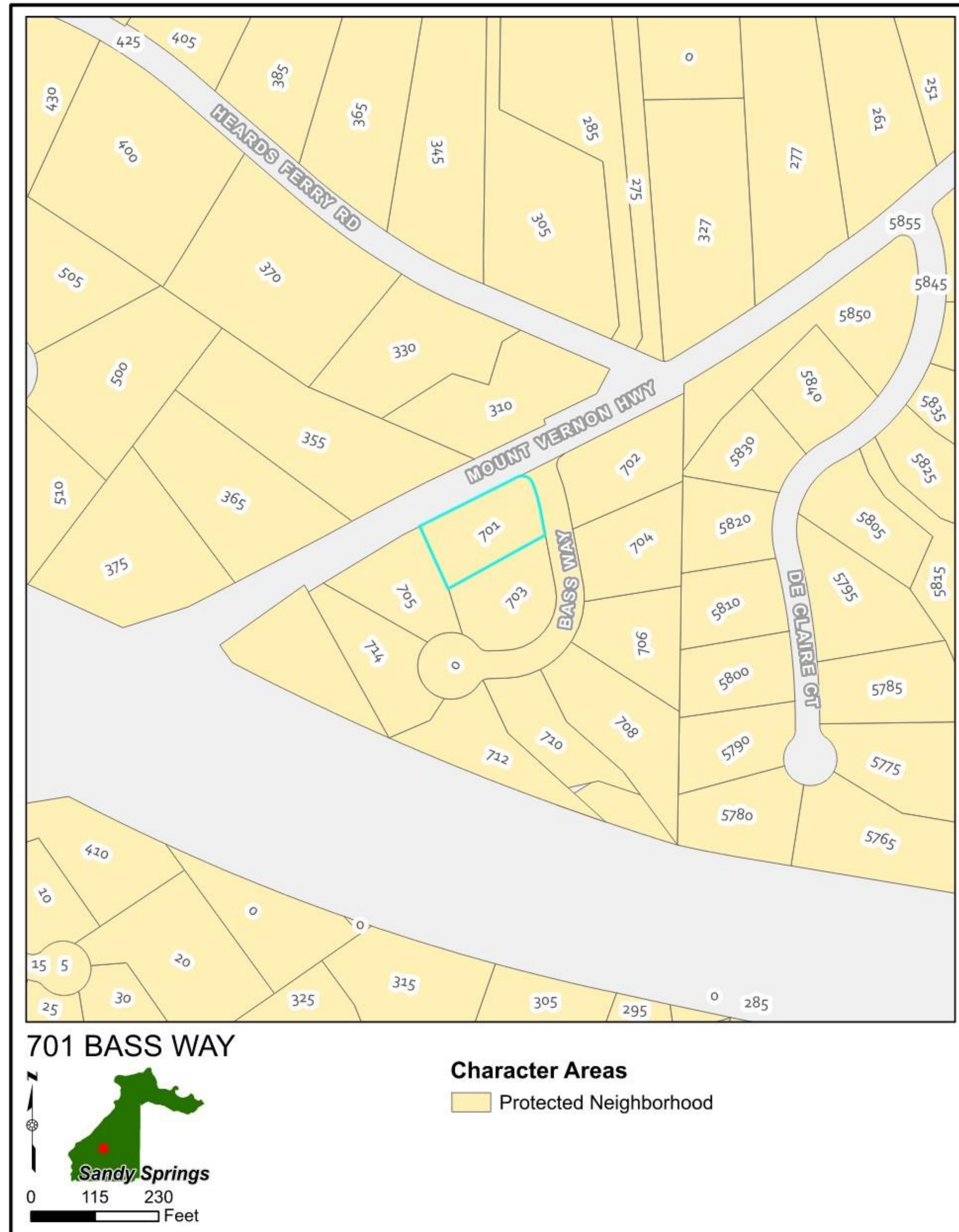


SANDY SPRINGS
GEORGIA

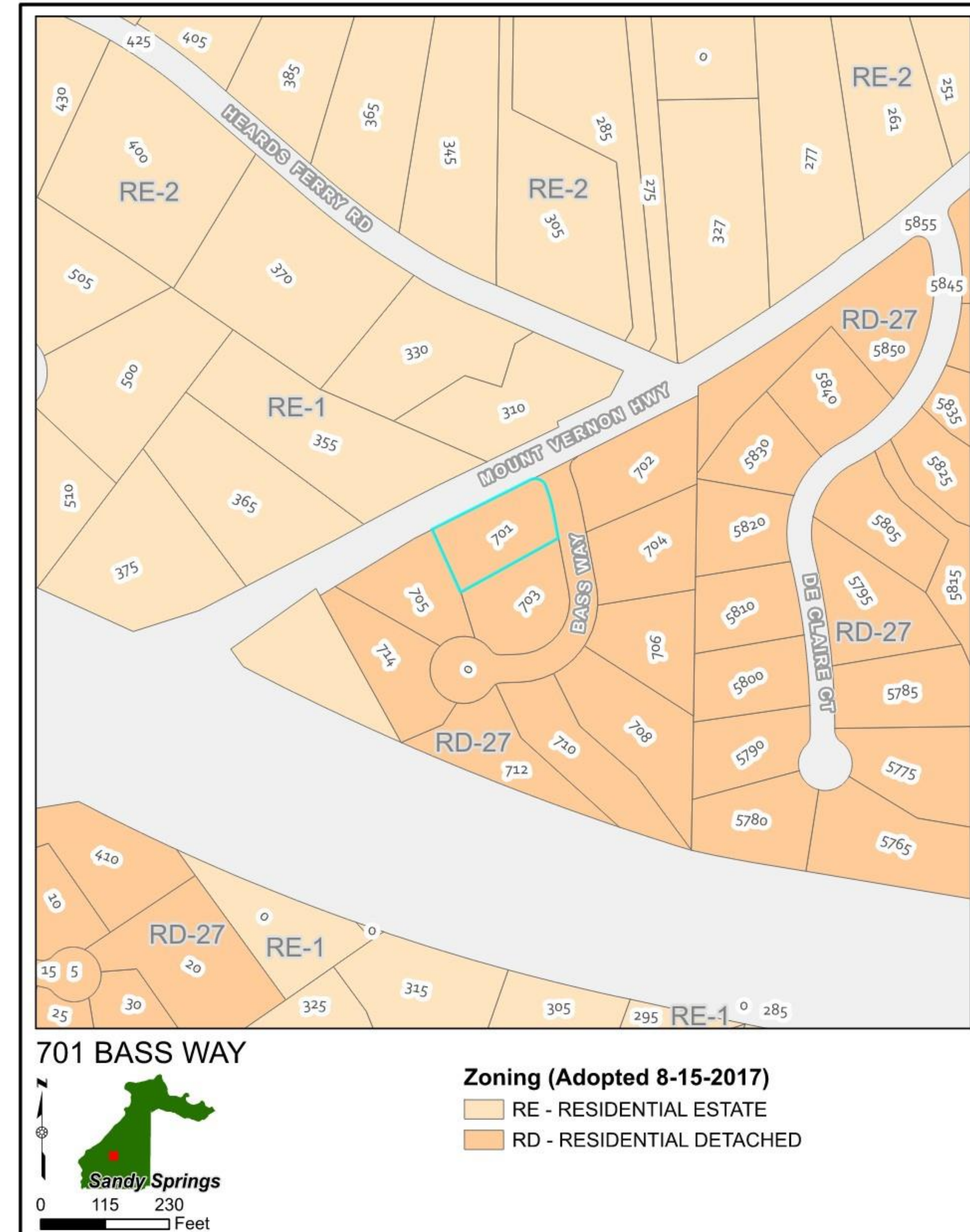
Request

- A request for a Variance from Sec. 6.1.2.B. to allow a building roof eave to remain that encroaches 5.2 feet into the 30-foot side street setback.

Character Area Map



Zoning Map



Aerial Image



Existing Conditions

- The subject property is a .62-acre lot with an existing single-family home, with a three-car garage. The zoning is RD-27. Based on Fulton County records, the lot was platted and recorded in 2018 and the present owner acquired the property in 2019.
- Located within the Hardin Ridge neighborhood, the subject property is North of I-285 and South of Mount Vernon Hwy with a 2-story home, 3-car garage, covered porch, pool, pool deck, spa, covered patio with steps and a fireplace.
- The roof eave encroachment overhangs the side yard on the North side of the home that faces Mount Vernon Hwy.
- Evergreens screen the entire north side of the home, including the partially enclosed patio, while other trees and landscaping screen the rear neighbors' view of the building eave.

Existing Conditions

- The partially enclosed patio addition was constructed without a permit in February 2025.
- The applicant was cited and agreed to remove the portions of the partially enclosed patio and eaves that were in violation of the Development Code.
- In actuality, the applicant removed only the walls and steps that were part of the encroachment and neglected to remove the roof eave portion – hoping to keep a consistent roofline. The variance request is to allow the 5.2-foot roof eave to remain.

Existing Conditions



View of building eave encroachment facing Southwest



View of building eave encroachment facing South

Existing Conditions

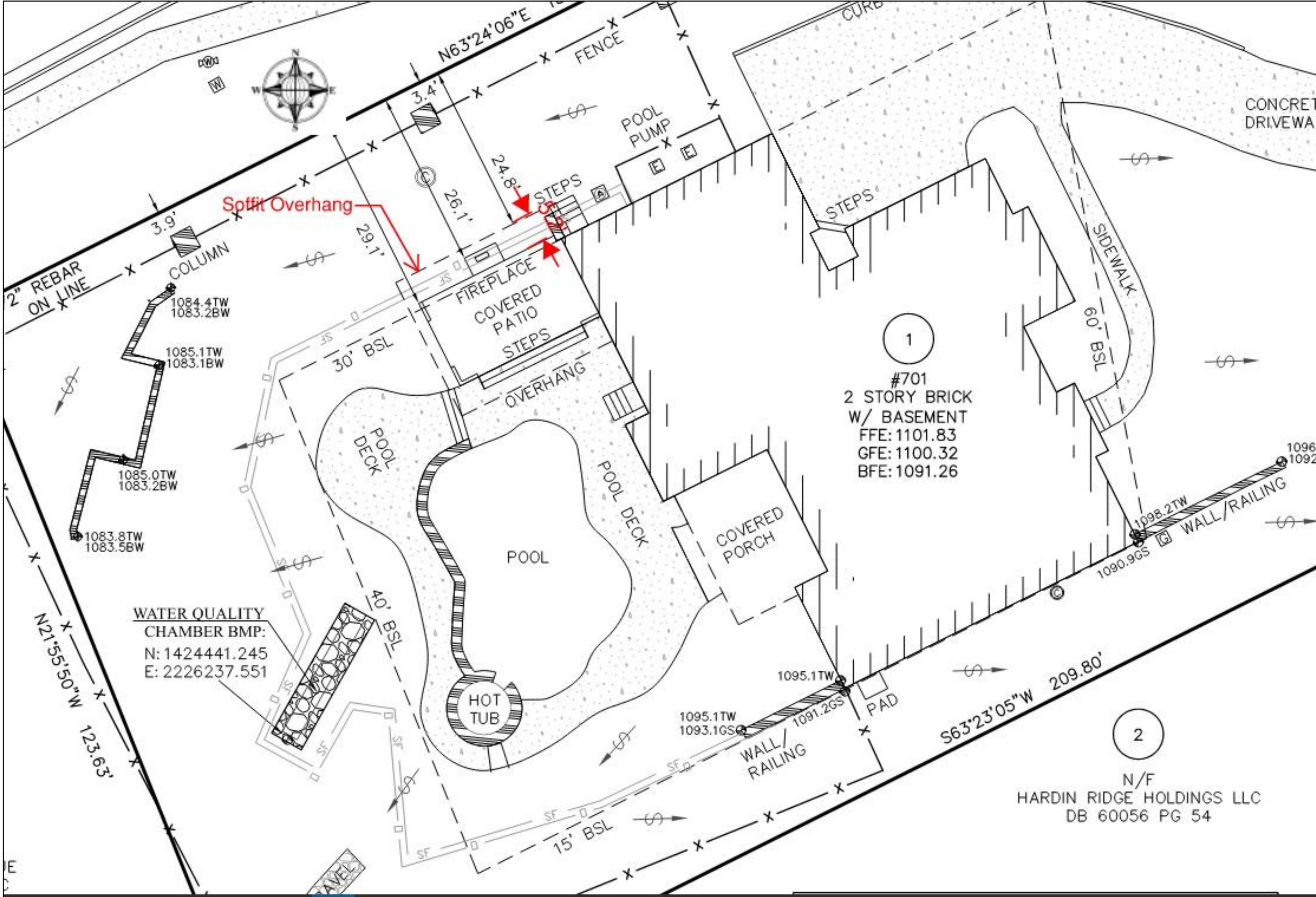


View of North side landscaping



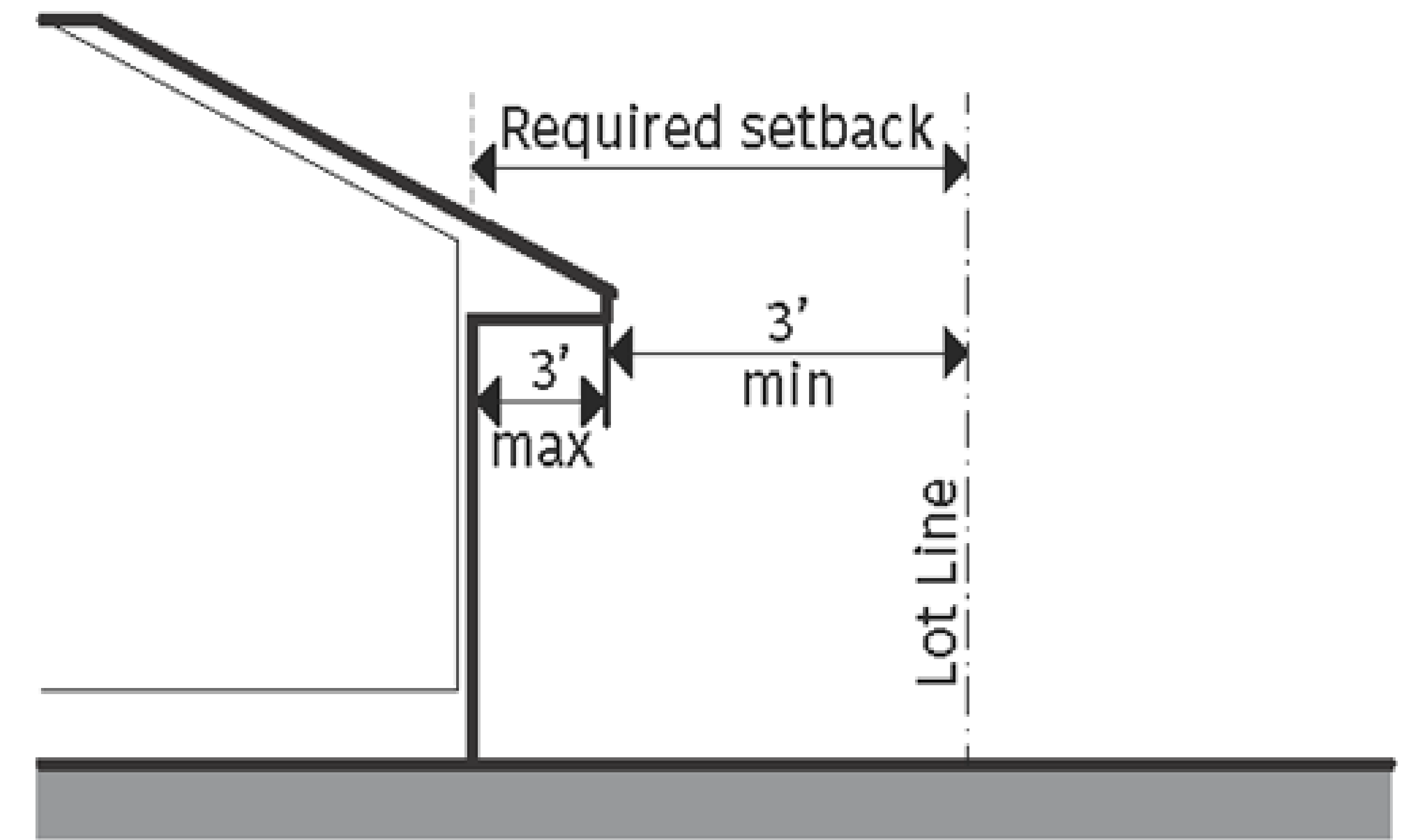
View of landscaping on Mount Vernon Hwy facing South

As Built Markup



Variance Request

- The applicants are proposing to retain an 5.2-foot building eave that encroaches into the 30-foot side street setback on the North side of the property. The eave is part of an addition that includes a 330 square foot patio, fire place, and steps on the north side of the home. Evergreens and additional landscaping screen the entire northern street side of the home blocking any view of the eaves from Mount Vernon Hwy.
- *According to the Development Code Section 6.1.2.B Setback Encroachments*
 - 1) *Building Features*
 - a) *All Setbacks.*
 - i) *Building eaves, roof overhangs, gutters, downspouts, light shelves, bay windows, and oriels less than 10 feet wide, cornices, belt courses, sills, buttresses, or other similar architectural features may encroach up to 3 feet into a required setback, if such extension is at least 3 feet from the vertical plane of any lot line.*
 - ii) This proposal is seeking a variance to allow an existing building eave to encroach into the 30-foot side street setback, by 5.2 feet.



This proposal is seeking a variance to allow an existing building eave to encroach into the 30-foot side street setback, by 5.2 feet.

Variance Considerations:

a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;

The Development Code allows for an encroachment of a building eave of three feet into a required building setback without a variance, however the requested variance exceeds this allowance by 2.2 feet. Staff believe that although the variance request maintains overall character of the existing home and the surrounding neighborhood, the minor deviation from the Development Code is non-compliant.

b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;

Staff believes the development would not be detrimental to the public safety, health, or welfare of the public or injurious to other properties. The building eave encroachment is screened, on all sides, by tall evergreen trees and other landscaping.

c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;

According to the application, the construction of the addition was authorized by the property owner, however, the property owner was not aware the builder constructed the addition in the side setback. encroaching eave was done by the builder unknowingly to the homeowners. The 30-foot side street setback is standard for the RD-27 zoning district, which applies to properties within the Hardin Ridge neighborhood. Staff notes this property, and its site elements are not unique.

Variance Considerations (continued):

d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;

The subject property does not exhibit unique physical conditions that distinguish it from other properties in the surrounding neighborhood. The lot's size, shape, and topography are consistent with nearby properties. Therefore, the hardship is not the result of the physical characteristics of the land but rather of the encroaching structure and the effort required to bring it into compliance.

e. The Variance requested is the minimum necessary to accomplish the development of building;

The property was developed with two-story home, a three-car garage and a covered porch in the rear southern section of the home. The pool and deck, spa, fireplace, covered patio with building eave encroachment, and steps were wanted additions and not necessities. The home is fully functional and complaint without the additions therefore, the variance is not the minimum necessary to accomplish the development.

f. Whether alternative designs are possible which require less intrusion or no intrusion;

The eave encroachment extends 2.2 feet further into the side street setback than the code allows. The applicant does, however, have vegetative screening that prevents the roof eave from being seen from Mount Vernon Hwy and the neighboring properties.

g. Such conditions are not the result of action or inaction of the current property owner; and

The newly built covered patio, fireplace, steps, and building eave encroachment are not pre-existing conditions to the lot. This addition was the direct action of the current property owner.

Recommendation

- Staff recommends **Denial** for relief from Sec. 6.1.2.B. to retain a building roof eave that encroaches 5.2 feet into the 30-foot side street setback.
- If the Board chooses to approve the variance, staff recommends the following conditions:
 - The homeowner(s) shall permanently maintain vegetative screening, consistent with Exhibit A, to preserve the intended visual buffer from Mount Vernon Highway and adjacent rear properties. This obligation remains in effect regardless of the condition, removal, or failure of any screening installed or maintained by the HOA.

Exhibit A





SANDY SPRINGS

GEORGIA

P&Z STAFF REPORT

Board of Appeals Meeting, February 4, 2026

Case: **V-25-60 - 4825 Franklin Pond Road**
 Staff Contact: Michele McIntosh-Ross (mmcintosh-ross@sandyspringsga.gov)
 Report Date: January 26, 2026

REQUEST

Request for a Variance from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

APPLICANT

Property Owners:	Petitioner:	Representative:
Ravi and Anissa Durairaj	Alex Brock	Alex Brock

RECOMMENDATIONS

Department of Community Development

Staff recommends **Approval** of Variance V-25-60

MATERIALS SUBMITTED AND REVIEWED

Materials and Plans

1. “*Final - Franklin Pond Variance Application (Revised)*” received on December 12, 2025

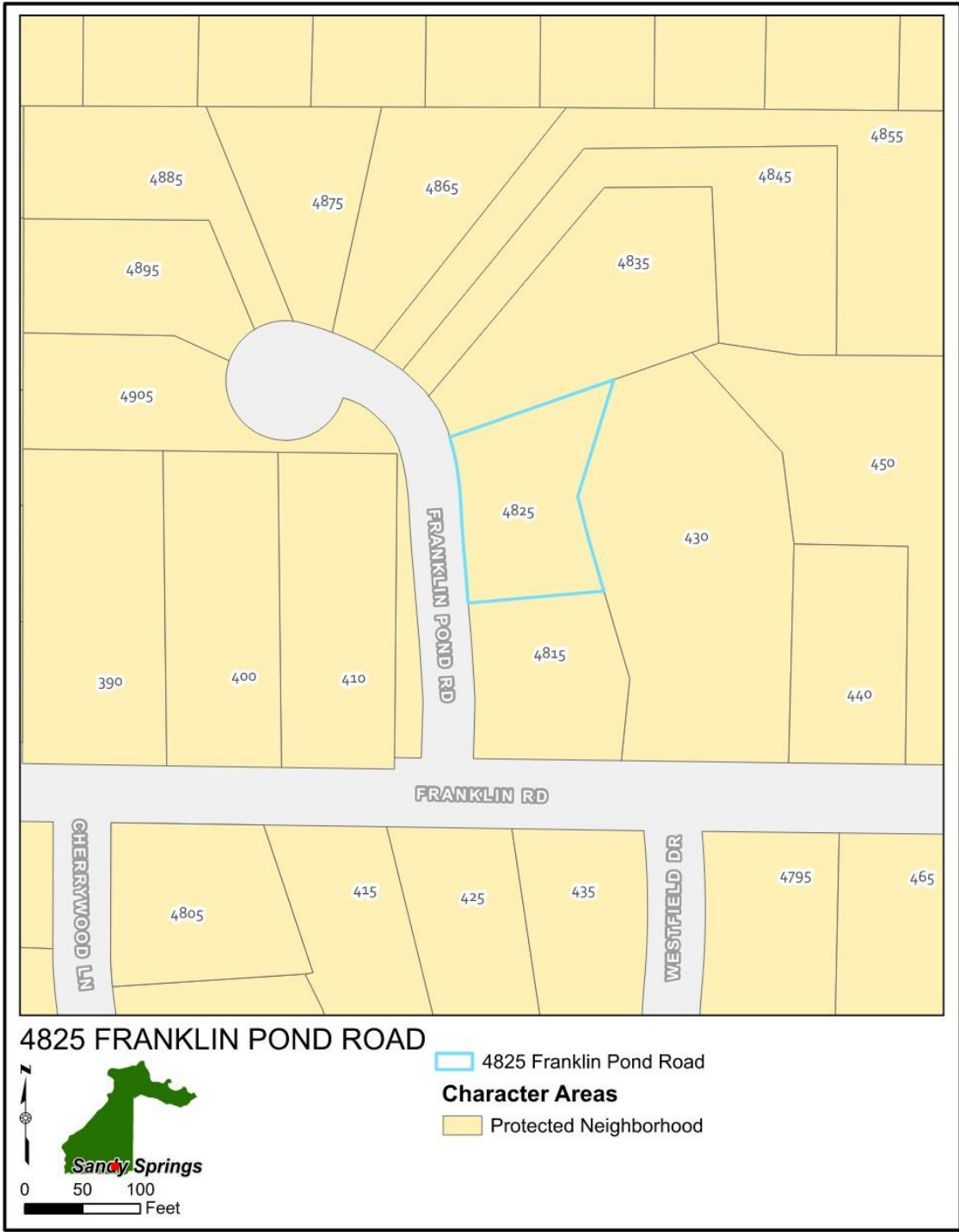
Plans

2. Survey “*Durairaj House (PERMIT_Rev.2 -Variance)*” Prepared by Colin and Litchenstein Associates. received on November 19, 2025.
3. Site Plan “*20231278 SITE PLAN (2) 4825 Franklin Pond Sandy Springs 30342*” received on November 19, 2025. Prepared by Survey land Express. Stamped by Eugene A. Stepanov.
4. Letter of Intent - *Durairaj - Variances for 4825 Franklin Pond Road 12.04.25(81404470.1)*”. received on December 12, 2025.
5. “*Durairaj House PERMIT_Rev.2Variance*”. Prepared by Colin and Litchenstein Associates received on December 12, 2025.

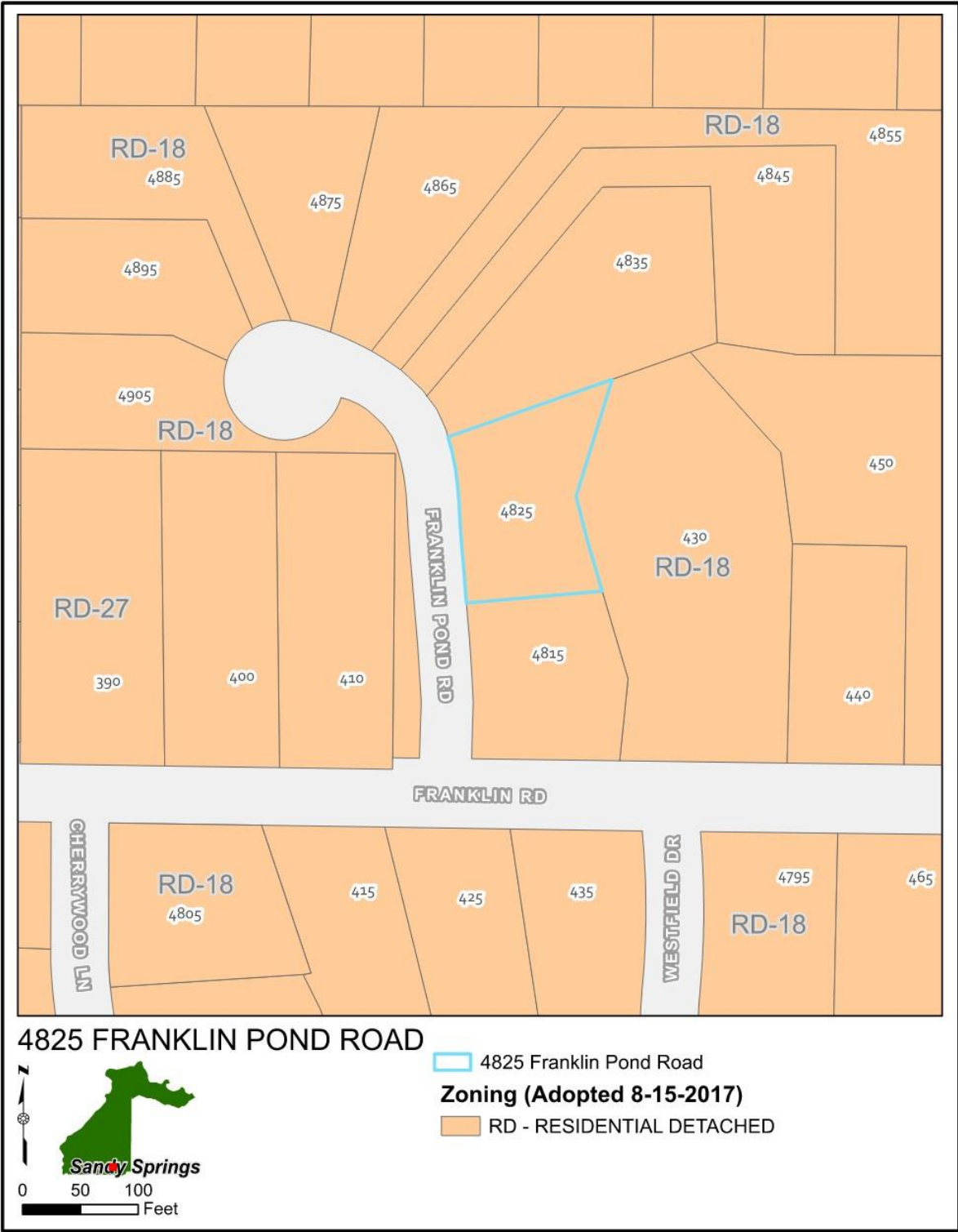
PROPERTY INFORMATION	
Location:	4825 Franklin Pond Road (17 006700070114)
Council District:	Council District 5 – Mary Ford
Neighborhood:	High Point Civic Association
Road frontage:	Approximately 147 feet
Lot Depth	Approximately 105 feet
Acreage:	Approximately 0.67 acre
Current Zoning	RD-18 (Residential Detached – 18,000 square feet minimum lot size)
Existing Land Use:	Single Family Home
Previous Zoning Cases:	None
Character Area:	Protected Neighborhood

EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY			
Location relative to the subject property	Zoning	Address(es)	Land area (acres) (approximate)
North	RD-18 / Residential Detached	4835 Franklin Pond Road	0.67
East	RE-18 / Residential Detached	430 Franklin Road	1.17
South	RE-18 / Residential Detached	4815 Franklin Pond Road	0.40
West	RE-27 / Residential Detached	410 Franklin Road	0.57
PROPOSED DEVELOPMENT			
-	RE-18 / Residential Detached	4825 Franklin Pond Road	0.67

CHARACTER AREA MAP

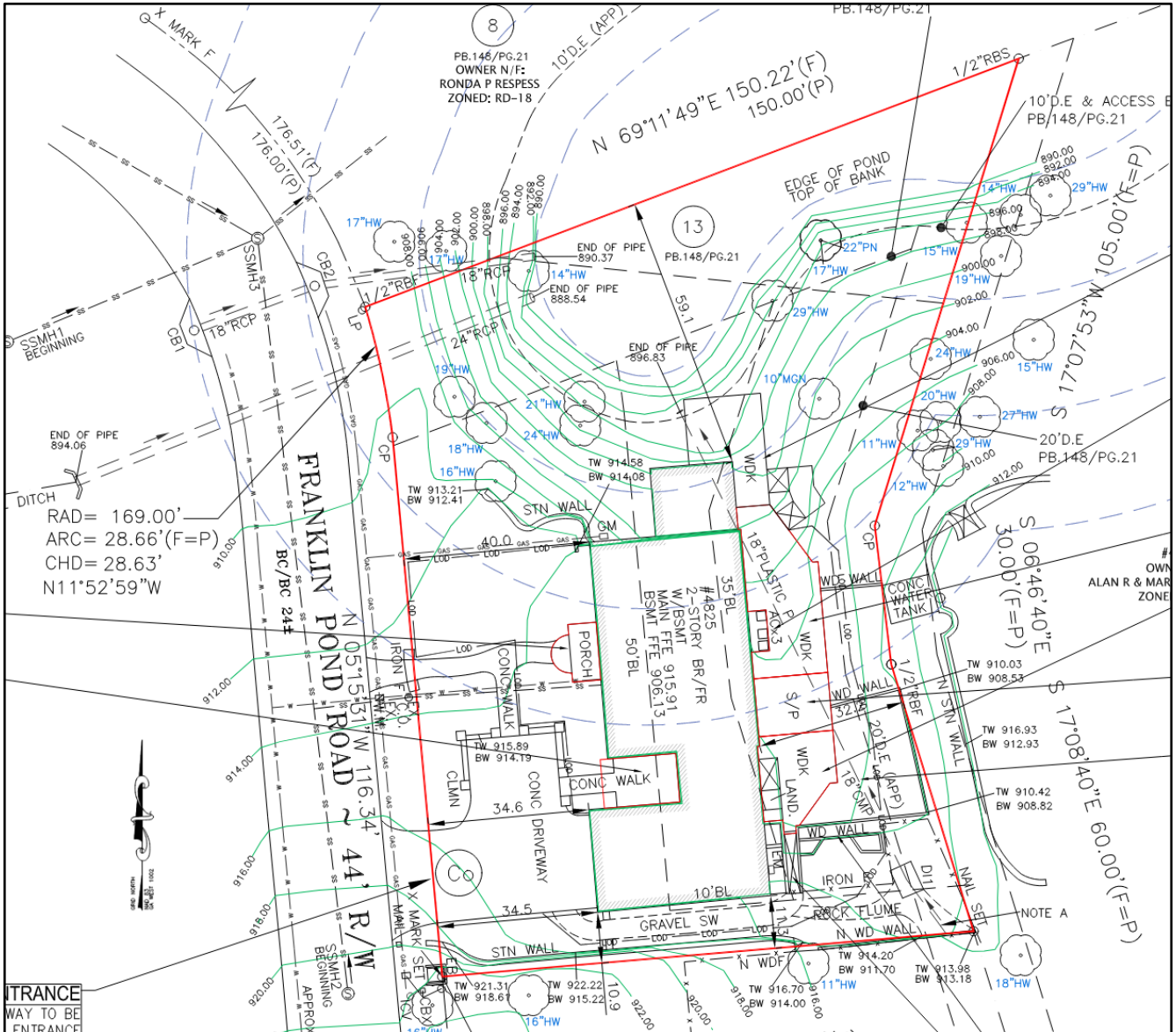


ZONING MAP



AERIAL IMAGE

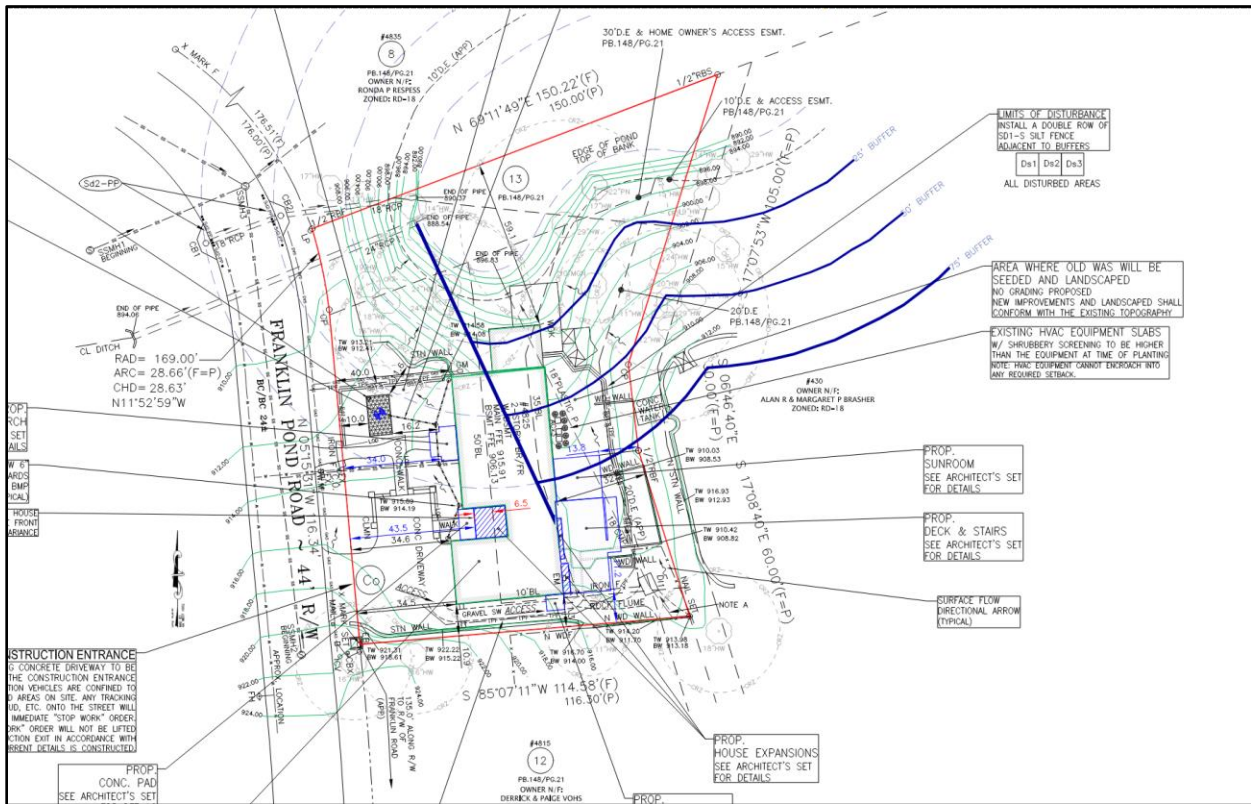




EXISTING DEVELOPMENT

The 0.67-acre subject property is developed with a 2-story single family home, 2-car garage, porch and a rear screened porch and decks. The property is zoned RD-18 for Residential Detached – 18,00 square foot minimum lot size. According to Fulton County tax records, the home was built in 1988, and the current homeowners purchased the property in 2005. According to the survey provided, the north portion of the property is encumbered with a stream and its associated buffers making approximately 12,560 square feet of the 18,00 square foot lot unbuildable without a variance. It slopes from the south-southeast to the north-northeast with steep slopes draining into the stream discharging and draining to the northeast along the northern property line. The trapezoidal shaped lot is within the Nancy Creek Declared Sensitive Area and is east of Franklin Pond Road.

The current building/home is considered a legal nonconforming structure where the home encroaches into the 50-foot primary street setback by approximately 16 feet and encroaches into the 35-foot rear setback by approximately seven (7) feet. The lot would not be buildable with a reasonable sized home if there were strict adherence to the Development Code. Most improvements to this property would necessitate a variance.



Blue lines are the stream buffers, and the green lines represent the topography



View of front of home facing east on Franklin Pond Road



View of garage facing east on the driveway



View of rear screened porch and deck to be demolished



View of existing rear porch

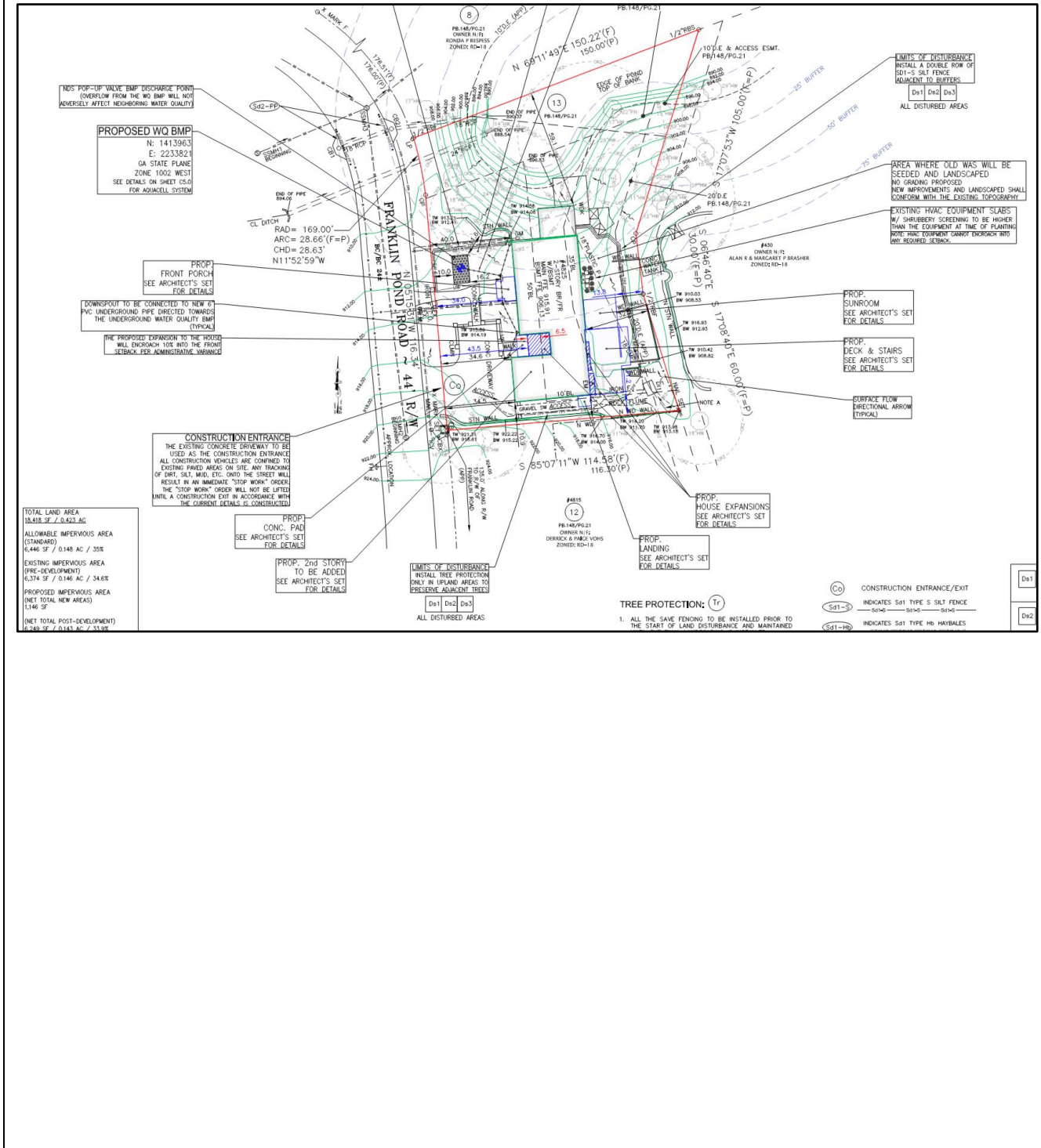


View of slope and partial rear deck standing on Franklin Road facing northeast



View of rear yard facing south

SITE PLAN (received December 12, 2025)



PROPOSED DEVELOPMENT

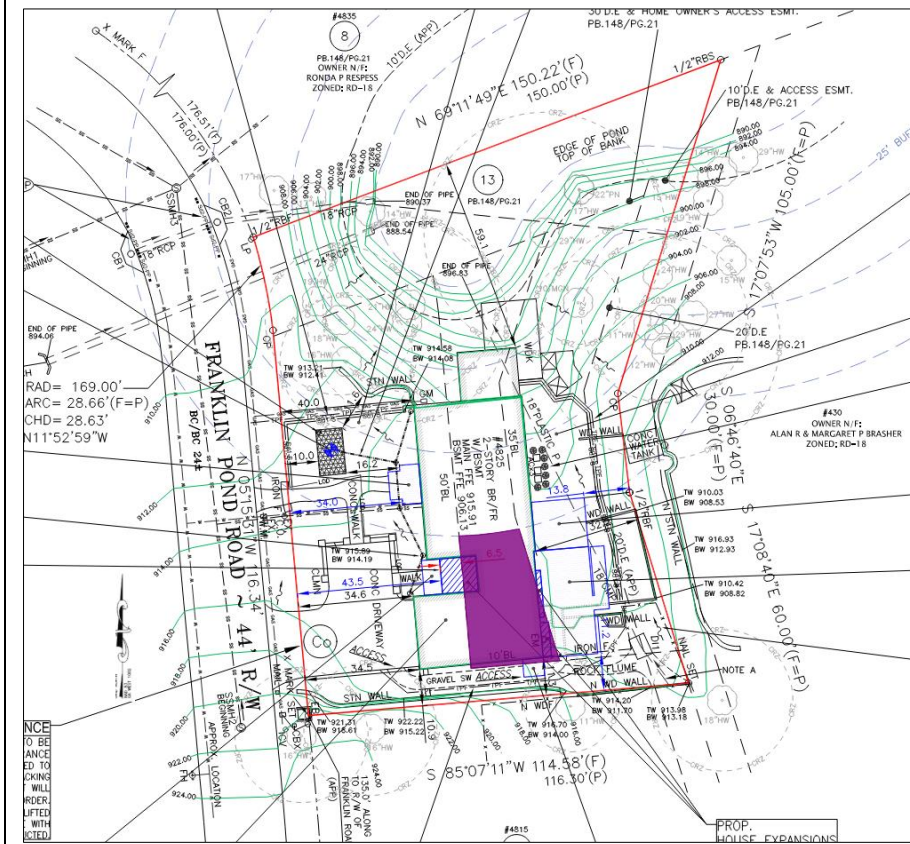
The proposed development, which requires a variance from the Development Code, includes expanding and altering the nonconforming home into the 50-foot primary street setback and the 35-foot rear setback.

In the primary street setback, the applicants are proposing to enclose and expand the front of the home by approximately 100 SF to create a mudroom. 55 square feet of the mudroom is proposed to be within the setback. With an addition of a second floor this increases the nonconformity. The existing front porch (102 SF) will be demolished and replaced with a new front porch.

In the rear setback, the proposal includes demolishing the 967 square foot wood deck that includes a sunroom and screen porch and replacing it with a new 671 square foot sunroom and deck. This development decreases the amount of impervious surfaces. The applicants are also proposing to add 478 square feet of green impervious area within the setback.

Per the Sandy Springs Development Code sec. 11.7.2.B.3 Nonconforming Structures – Continuance - *No new nonconformity may be created by an expansion, alteration or rebuilding.*

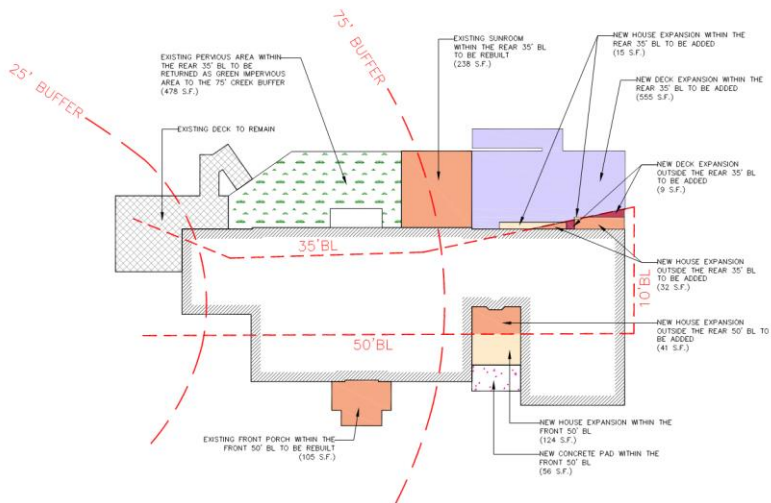
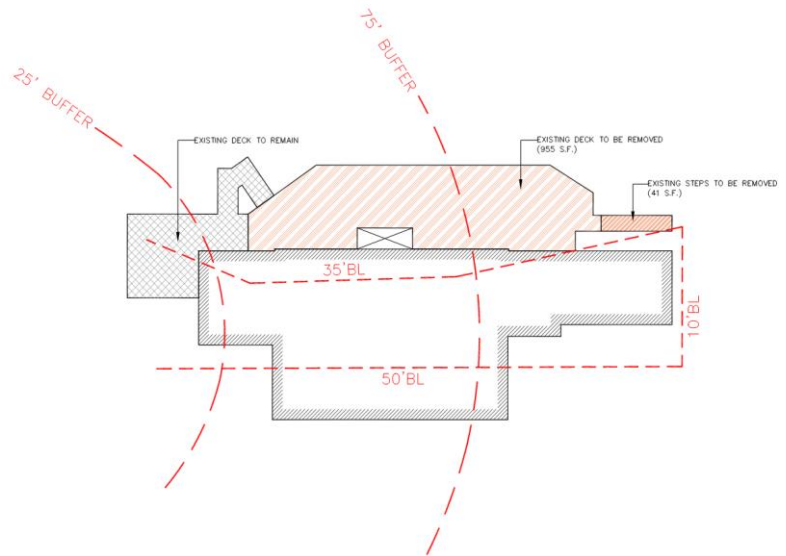
Per the Sandy Springs Development Code sec. 6.1.2.B. Setback Encroachment - *All building and structures must be located at or behind the required setback.*



Purple indicates the true buildable space

Note* All numbers are approximate and are not precise

The image on the right shows the existing development, stream buffers, and setback lines. The structure in orange indicates the proposed structures to be demolished.



The image to the left indicates the new proposed development in purple, existing structures in orange and impervious green space.

V-25-60 VARIANCE CONSIDERATIONS

Per Section 11.6.2.G. of the Development Code, the following list of approval criteria for a Variance provides guidance for making decisions on approval:

1. Variances will only be granted upon showing that:

a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;

Finding: The proposal maintains the existing low-density residential use and supports environmental protection objectives consistent with the Comprehensive Plan. The intent of the Development Code setback is to ensure building placement, protect neighborhood character and limit impacts to adjacent properties. Staff acknowledge that the existing home is legally nonconforming, the subject property is significantly constrained by a stream and associated buffer which renders a substantial portion of the lot unbuildable without a variance. The proposal includes a limited expansion of the existing nonconforming structures however it also removed a large portion of the existing rear deck resulting in a net reduction of impervious surface while also adding new pervious green space. Staff find that the variance request does not negate the general intent of the Development Code or conflict with Comprehensive Plan policies.

b. The variance if granted will not be detrimental to the public safety, health, or welfare of the public or injurious to other property;

Finding: The proposed variance will not be detrimental to the public safety, health, or welfare, nor injurious to neighboring properties. The lot's environmental constraints, including the stream and associated buffers, limit development options, and the proposal improves conditions by replacing a large rear deck with a smaller deck and sunroom while increasing green pervious space within the setback. This reduces impervious coverage, and supports stormwater management.

c. The conditions on which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;

Finding: The 0.67-acre lot is significantly constrained by a stream, associated buffers, and steep slopes that occupy a large portion of the lot area, leaving limited space for additions or modifications without encroaching into required setbacks. The existing home is already nonconforming, and the combination of the environmental constraints, lot shape, and topography creates circumstances not typical of other properties in the neighborhood.

d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;

Finding: The particular physical surroundings, shape, size, and topographical conditions of the property, strict compliance with the Development Code would result in an extraordinary hardship. The applicants would be unable to reasonably expand or improve the home while accommodating environmental considerations. These unique site conditions create a practical difficulty that justifies relief from the Development Code.

e. The variance requested is the minimum necessary to accomplish the development or building;

Finding: The applicants are requesting to expand the existing nonconforming home by a modest front addition and replacing the large rear deck with a smaller sunroom and deck, resulting in a net reduction of impervious coverage and additional green space within the rear setback. Given the many lot constraints, no alternative design would allow the applicants to reasonably improve the home without a variance. Staff finds that the proposed variance provides the least relief necessary.

f. In the case of an amendment to a buffer or setback required by this Code, the variance application shows how equal or greater protection will be achieved of the adjacent property or natural resource affected by the proposed development, should the variance be granted; and

Finding: The proposed development reduces the size of the existing rear deck, replaces impervious surfaces with green space, and maintains the integrity of the on-site stream and its associated buffers. These measures enhance stormwater management and preserve natural drainage patterns, ensuring that the proposed modifications do not negatively impact adjacent properties or environmental resources. Staff find that the variance adequately protects the natural and adjacent property resources.

g. Such conditions are not the result of action or inaction of the current property owner; and

Finding: The conditions necessitating this variance are not the result of any action or inaction by the current property owners. The lot is constrained by a stream, associated buffers, and steep slopes, and the existing home was built in 1988, well before the current owners purchased the property in 2005. These pre-existing site and structural conditions create the need for the requested variance.

2. Failure of an applicant to obtain a land disturbance, building or any other permit required by this Code shall not in and of itself constitute a justification for a variance absent a showing of the criteria listed under Section 1 above.

Finding: The variance request is evaluated solely based on the criteria outlined above, including site-specific constraints, environmental considerations, and consistency with the Development Code and Comprehensive Plan. Staff finds that the variance request meets the variance criteria.

COMMENTS FROM OTHER PARTIES

Sandy Springs City Engineer:

No comment provided.

Sandy Springs Arborist:

If approved, the proposed project will be required to adhere to Division 9.3, Tree Conservation, of the Sandy Springs Development Code.

Sandy Springs Building Official:

1. Moving the setback lines (as opposed to acknowledging an existing non-conformity and approving an encroachment) is a bad idea. It allows the property owners to come back and request future administrative variances to encroach even farther into the current setbacks.
2. The abrasive statements in the Letter of Intent make it difficult to review the drawings with an open mind.
3. Please provide a signed, sealed letter from a licensed Structural Engineer stating that he/she has analyzed the existing structure and found that it can support the additional load from the proposed second floor addition OR prescribing remedies for supporting the new loads down to firm earth. If you are installing new beams in these areas please specify size and type of beam, vertical supports, connecting hardware (if applicable) and fasteners, any additional support that may be required on levels below, and any new footings required.
4. Opening any interior load bearing walls or any exterior walls will require engineered solutions as well.
5. If this variance is granted, please note that you will still need to apply for a Building Permit, which includes submitting a complete set of drawings for plan review.

Sandy Springs Land Development Manager:

The applicants, if approved, would need to submit for permitting. No Site Plan Review comments.

Sandy Springs Chief Environmental Compliance Officer:

No comment provided.

Sandy Springs Fire Marshal:

No comment provided.

Urban Forest Coordinator:

No comment provided.

Sandy Springs Transportation Planner:

No comment provided.

Sandy Springs Public Works:

No comment provided.

Correspondence Received:

Three letters in support.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATIONS

Staff recommend **Approval** Variance V-25-60, a request for relief from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

1. That construction is substantially similar to the site plan provided with this application.

SPORTS

Holy Innocents' girls' basketball continues to thrive under new coach

By Greg Oshust
Sports Editor

The Holy Innocents' girls' basketball team reached the top of Georgia girls' high school basketball with a state championship in Class A-3A Private last year.

The Lady Bears are aiming for a second consecutive state title with a new coach as Nathan Teymer takes over for Nichole Dixon, who is now the basketball coach at Girls Preparatory School in Chattanooga, Tenn.

Holy Innocents' is continuing to thrive under its new coach, with a 9-5 overall record and 1-0 mark in Region 5AA as of Jan. 8.

Teymer has spent his coach-

ing career on the college level. He was the women's basketball coach at Southern Polytechnic State University in Marietta from 2005 to 2010 — leading SPSU to the Sweet 16 in the NAIA national tournament in '10 — as well as being the head women's coach at Augusta University (2010-17) and the associate women's head coach at Texas State (2017-25), before taking over a Holy Innocents' girls program that has won four state titles and made eight championship game appearances over the last 13 years.

"I've been in Texas the last eight years, but I was in Georgia for 17 years prior to that," Teymer said. "When I

was a college coach, I would always try to recruit Holy Innocents' players, just from that they were a talented group and also just from a maturity standpoint, academic standpoint. I just had a lot of respect and admiration for the school itself and so it was one of those things where I was thinking about making a lifestyle change, going from college to the high school ranks.

"My wife and I always loved the Atlanta area, so it was a really good fit when the job came open and just to be able to come back and be at a school — not just as a basketball program, but just a school with the kind of respect and reputation of Holy Innocents'."

The Lady Bears lost their first two games against defending state champions — losing to AAAAA champion River Ridge 61-60 Nov. 8 and AAAAA champion Newton 67-49 Nov. 15 — as well as losing to perennial AAAAA powerhouse Hillgrove 46-39 Nov. 18, before winning nine of their next 11 games.

"Overall, it has been a big learning process — getting to know the girls and the girls getting to know me," Teymer said. "We started off with some injuries at the beginning of the year, so we really didn't have our full roster. The starters are



Special Photo — Patrick Ammons

Holy Innocents' sophomore forward Loriel Murray (52) shoots a jumper during the Lady Bears' 72-60 victory over North Paulding at the Hawks-Naismith Tipoff Classic Nov. 22.

just trying to get chemistry. With our schedule, it's been very tough. I know they don't do a strength of schedule-type ranking, but I would feel we would be up there with strength of schedule just to show how difficult it has been. But that's a great thing for us, just to kind of prepare us for trying to make a run later on in the year."

Holy Innocents' suffered a big blow with the loss of junior wing Nakhai Worthy,

who is out for the season after suffering a knee injury in the Lady Bears' season opener against River Ridge.

However, the Bears still have plenty of talent on hand, with sophomore forward Loriel Murray, senior wing Elana McMasters — who scored a career-high 32 points in a 73-43 win over Heard County Dec. 30 — junior guard Makayla Weacer, sophomore guard Makenzie Weaver and sophomore for-

ward Aaniyah Branch.

"They all have different roles," Teymer said. "I think, probably, Loriel and Elana are probably more for the points, trying to be consistent with points every night. But it's one of those things where everyone has kind of their role. We play probably about seven players, so we're not the deepest team, but it's one of those things where if everyone can kind of come together, we should be OK."

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-53

Petitioner: Bruce and Silvia Bowen

Property Location: 870 Edgewater Drive
Parcel # 17 016800020083

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to encroach into the 60-foot primary street setback by 20 feet for a new home.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-60

Petitioner: Ravi and Anissa Durairaj

Property Location: 4825 Franklin Pond Road
Parcel # 17 006700070114

Current Zoning: RD-18

Request: Request for a Variance from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during Public Hearing, please visit <http://spr.gs/publiccomment>.

**SANDY SPRINGS
NOTICE OF ATLANTA REGIONAL COMMISSION
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

Petition Number: RC-25-06SS

Petitioner: Daniel Cipriani
400 Pilgrim Mill Road
Cumming, GA 30040

Property Location: 8935 River Landing Way
Sandy Springs, GA 30350
Parcel: 17 008000030012
LL 81, 17th District
Council District 2

Site Acreage: 1.042 acres

Request: The property owner proposes the construction of a new two-car garage. The site is located in Category "D" with a proposed impervious area of 9,923 SF and Category "E" with a proposed impervious area of 827 SF.

Public Hearing: Mayor and City Council
February 3, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Option: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.

By Rob Maaddi
Ap Pro Football Writer

The NFL coaching carousel keeps spinning.

Eight teams are seeking a new head coach after Baltimore fired John Harbaugh on Tuesday and Miami fired Mike McDaniel on Thursday. Others could join the search if their team is one-and-done in the playoffs. Harbaugh's sudden availability after 18 seasons with the Ravens could create a new opening.

Multiple teams are interested in Harbaugh, including a club without a current opening, two people with knowledge of the conversations told The Associated Press. Both spoke on condition of anonymity because the discus-

sions are private.

Teams with head coaches can't secretly work behind the scenes to hire Harbaugh or anyone else because the NFL adopted the Rooney Rule in 2003. It requires teams to conduct in-person interviews with at least two diverse — minority or female — candidates who don't currently work for the team.

The Buccaneers aren't among the teams looking for a new coach because Todd Bowles is staying put in Tampa Bay, a person with knowledge of the team's thinking told the AP.

Bowles is under contract for three more seasons and is returning for a fifth year as head coach despite a major collapse in the second half. The Bucs went from 6-2 to 8-9 and missed the playoffs after winning the NFC South for four straight seasons. Bowles was the defensive coordinator under Bruce Arians when Tom Brady led the Bucs to a Super Bowl title five years ago.

The New York Giants, Tennessee Titans, Atlanta Falcons, Arizona Cardinals, Cleveland Browns and Las Vegas Raiders also have current openings for a head coach.

Here are three more teams that could decide to make a coaching change:



Gene J. Puskar — AP

Baltimore Ravens head coach John Harbaugh, left, and Pittsburgh Steelers head coach Mike Tomlin, right, talk before an NFL football game Sunday, Jan. 4, 2026, in Pittsburgh.

BUFFALO BILLS

Sean McDermott has led the Bills (12-5) to the playoffs in eight of his nine seasons. But after five straight AFC East titles, they enter this postseason as a wild-card team with the No. 6 seed.

McDermott and Josh Allen have been under pressure to get to the Super Bowl after falling short in the conference championship game last year. They lost in the divisional round the previous three seasons. The Bills won't have to face Patrick Mahomes and the Chiefs, who knocked them out four times in the last five years.

The Bills are one-point favorites on the road against

Jacksonville on Sunday. If Buffalo loses, it might force a change despite McDermott's success.

GREEN BAY PACKERS

Matt LaFleur has led the Packers (9-7-1) to the playoffs six times in seven seasons. He guided them to three straight 13-win seasons in his first three years but they lost at home in the NFC championship game twice. They've been the No. 7 seed each of the last three seasons.

Green Bay is a one-point road favorite against division rival Chicago on Saturday night. The Packers and Bears split their season series.

Losing star pass rusher Micah Parsons was a major blow for Green Bay's Super Bowl hopes. LaFleur has a tough task this postseason.

PITTSBURGH STEELERS

Mike Tomlin was a missed 44-yard field goal from being eliminated and Harbaugh and the Ravens would be hosting the Houston Texans this week as the AFC North champion instead of the Steelers.

Tomlin is a Super Bowl champion coach who has led Pittsburgh for 19 seasons, one longer than Harbaugh was in Baltimore. He's 193-114-2 in the regular season and 8-11 in the playoffs. But the Steelers (10-7) haven't won a playoff game since 2016 and there's been speculation about Tomlin throughout the season. A loss Monday night to the Texans could lead to a change.

**SANDY SPRINGS
NOTICE OF VARIANCES**

Petition Number: V-25-54

Petitioner: Andrea Darweesh

Property Location: 701 Bass Way
Parcel # 17 0133LL1102

Current Zoning: RD-27

Request: Request for a Variance from Sec. 6.1.2.B. to allow the encroachment of a building eave into the 30-foot side street setback.

Public Hearings: Board of Appeals
Wednesday, February 4, 2026 at 6:00 p.m.

Location: Sandy Springs City Hall
1 Galambos Way
Sandy Springs, GA 30328
770-730-5600

Virtual Options: The meeting will be live-stream at www.sandyspringsga.gov/stream. For instructions on how to provide public comment during the Public Hearing, please visit <http://spr.gs/publiccomment>.

APPLICATION FORMS



SANDY SPRINGS™
GEORGIA

PROJECT INFORMATION SHEET

Table with 2 columns: PROPERTY and details. Rows include: Address(es): 4825 Franklin Pond Road, Sandy Springs, GA 30342; Parcel Tax ID(s): 17 0067 0007 0114; Total acreage: ±0.423 Acres; Council District: 5; Current zoning: RD-18; Current use: Single family home; Character Area: Protected Neighborhood.

Table with 2 columns: APPLICATION and details. Rows include: Detailed request (include Code Section No.): A. § 2.3.2(A): Reduce Primary Street Setback Requirement from 50-feet to 33-feet; B. § 2.3.2(D): Reduce Rear Setback Requirement from 35-feet to 13-feet; Petitioner: Ravi and Anissa A. Durairaj c/o Dennis J. Webb, Jr. - Smith, Gambrell & Russell, LLP; Petitioner's address: 1105 W. Peachtree St NE, Ste 1000, Atlanta, GA 30309; Phone: [redacted]; Email: djwebb@sgrlaw.com.

Table with 2 columns: OWNER and details. Rows include: Property owner: Ravi & Anissa Durairaj; Owner's address: 4825 Franklin Pond Road, Sandy Springs, GA 30342; Phone: [redacted]; Signature (authorizing initiation of the process): [signature]; If the property is under contract, provide a copy of the contract.

- TO COMPLETED BY P&Z STAFF -

Table with 2 columns: Pre-Application Meeting date: and Anticipated Application date:; Anticipated BOA date:; ADDITIONAL INFORMATION NEEDED: (multiple empty rows).

OWNER AUTHORIZATION

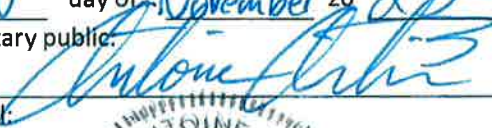




SANDY SPRINGS
COMMUNITY DEVELOPMENT

Failure to complete any of these requirements may result in an administrative hold, and the case will be rescheduled to a future filing cycle.

AUTHORIZATION FORM – PART I

The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the Authorization Form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this Application.	
Owner's name: Ravi C. Durairaj	Sworn and subscribed before me this 18 th day of November 20 25
Address: 4825 Franklin Pond Road	
City, State, Zip Code: Sandy Springs, GA 30342	Notary public: 
Email address: [REDACTED]	Seal:  Commission expires: 01/11/2029
Phone number: [REDACTED]	
Owner's signature: 	

A- If the Applicant is *not* the owner of the subject property: **Owner is applicant**

Fill out the following section, check the appropriate statement and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an estate of years which permits the Applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	th day of _____ 20____
City, State, Zip Code:	Notary public:
Email address:	Seal:
Phone number:	
Applicant's signature:	




SANDY SPRINGS
COMMUNITY DEVELOPMENT

Failure to complete any of these requirements may result in an administrative hold, and the case will be rescheduled to a future filing cycle.

AUTHORIZATION FORM – PART I

The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the Authorization Form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this Application.	
Owner's name: Anissa A. Durairaj	Sworn and subscribed before me this <u>18</u> th day of <u>November</u> 20 <u>25</u> Notary public: <i>Antoine Artis</i> Seal:  Commission expires: <u>01/11/2025</u>
Address: 4825 Franklin Pond Road	
City, State, Zip Code: Sandy Springs, GA 30342	
Email address: [REDACTED]	
Phone number: [REDACTED]	
Owner's signature: <i>Anissa A. Durairaj</i>	

A- If the Applicant is *not* the owner of the subject property: **Owner is applicant**

Fill out the following section, check the appropriate statement and have it notarized.

Applicant states under oath that:	
<input type="checkbox"/> He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or <input type="checkbox"/> He/she has an estate of years which permits the Applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this <u> </u> th day of <u> </u> 20 <u> </u> Notary public: Seal:
Company name:	
Address:	
City, State, Zip Code:	
Email address:	
Phone number:	
Applicant's signature:	

ATTORNEY AUTHORIZATION



SANDY SPRINGS
COMMUNITY DEVELOPMENT

Commission expires:

AUTHORIZATION FORM – PART II

B- If an agent or attorney will represent the owner and/or the Applicant:
Fill out the following section and have it notarized.

Agent's name: Dennis (Den) J. Webb, Jr.
Company: Smith, Gambrell & Russell, LLP
Address: 1105 W. Peachtree St., NE Suite 1000
City, State, Zip Code: Atlanta, GA 30309
Email address: dwebb@sgrlaw.com
Phone number: 404-815-3500
Agent's signature:
Applicant's signature:

Sworn and subscribed before me this
19 th day of <u>November</u> 20 <u>25</u>
Notary public:
Seal:
Commission expires:

LETTER OF INTENT

LETTER OF INTENT

and

Other Material Required by
The City of Sandy Springs Development Code
for the
Variance Application

of

RAVI C. and ANISSA A. DURAIRAJ

for

±0.423 Acres of Land
located in
Land Lot 67, 17th District, Fulton County
Address: 4825 Franklin Pond Road

§ 2.3.2(A): Reduce the Primary Street Setback from 50-feet to 33-feet

§ 2.3.2(D): Reduce the Rear Lot Line Setback from 35-feet to 13-feet

Submitted for Applicant by:

Dennis J. Webb, Jr.
J. Alexander Brock
Smith, Gambrell & Russell, LLP
1105 W. Peachtree Street, NE
Suite 1000
Atlanta, Georgia 30309
404-815-3500

I. INTRODUCTION

Ravi C. and Anissa A. Durairaj (the “Applicant”) seek to renovate their home at 4825 Franklin Pond Road, Sandy Springs, GA, Parcel No. 17 0067 0007 0114 (the “Subject Property”), where they have lived for more than twenty (20) years. The proposed renovations to their home will, by and large, be contained within the existing footprint of said structure. The footprint of the existing structure currently extends into the front and rear yard setbacks, however.

The Subject Property is developed with a single-family detached home and zoned Residential Detached (RD-18). The existing home includes an attached street-facing garage, front porch, and rear deck. Originally built in 1987, portions of the house are currently located within both the primary street setback and rear setback. Otherwise, the home conforms to all other site dimensional requirements of the RD-18 district. For example, the minimum lot size in the RD-18 district is 18,000 square feet, and the maximum lot coverage 35%. The Subject Property is $\pm 18,418$ square feet in area. Currently, the total amount of impervious surface area on the lot is $\pm 6,374$ square feet, resulting in lot coverage of $\pm 34.6\%$. The Applicant’s proposed renovations will result in a decrease in impervious surface and lot coverage.

The proposed renovations to the Subject Property include the following: (a) addition of a second story over the existing attached garage; (b) the enclosure of a portion of the front of the house located between the main part of the house and the attached garage to add a new mudroom on the first floor and a toilet/closet on the second floor (the subject area is currently recessed); (c) the replacement of the front porch; (d) the removal of the existing deck and screened porch on the back of the house and replacement with a sunroom and smaller deck ; and (e) a ± 1.5 to 3-foot projection of the rear wall of the house (less than 25 feet in length). The amount of impervious area on the Subject Property post-renovation will be decreased to $\pm 6,249$ square feet, reducing lot

coverage to $\pm 33.9\%$. Additionally, the proposed renovations include the installation of a water quality BMP to treat stormwater runoff, providing further protection to the environment and public health and welfare than the existing site conditions.

A small amount of the improvements, however, will encroach into the setbacks. A ± 124 square foot portion of the proposed mudroom will encroach into the primary street setback and ± 15 square feet of the home expansion will encroach into the rear setback. The remainder of the improvements will be limited to areas outside the setback or within the footprint of the existing structure. This Application seeks variances to allow the proposed improvements and the existing encroachments.

The Applicant's request is due strictly to the Subject Property's size, shape and topography. The Subject Property is long and narrow with stream buffers on one side. The Subject Property is ± 145.0 feet wide at its western boundary along Franklin Pond Road and ± 114.58 feet deep at its eastern boundary; however, well over half of the lot lies within the 75' stream buffer. If all of the prescribed stream buffers and setback requirements were applied to the lot, the buildable area on the lot would be limited to approximately a 40' x 21' area, which is only ± 897 square feet of the total lot area. Therefore, $\pm 95.13\%$ of the Subject Property is unbuildable. Thus, the Subject Property's shape and existing buffers create hardships requiring relief from the City's 50-foot primary street setback and 35-foot rear setback requirements set forth in Sandy Springs Development Code § 2.3.2. With minor exceptions, the Applicant is not asking to encroach into the buffers any more than it does today. This document is submitted as a Statement of Intent with regard to this Application, and analysis of the variance criteria in Sandy Springs Development Code § 11.6.2.G.1, and a preservation of the Applicant's constitutional rights. A survey plat of the

Subject Property has been filed simultaneously with this Application, along with other required materials.

II. REQUESTED VARIANCES

A. § 2.3.2(A): Reduce Primary Street Setback Requirement from 50-feet to 33-feet

Sandy Springs Development Code § 2.3.2(A) requires a 50-foot setback between a primary street lot line and any primary or secondary structures located on a lot in the RD-18 district. The Subject Property is zoned RD-18 and abuts Franklin Pond Road. Currently, the setback of the existing house from Franklin Pond Road varies between ± 34.5 feet and ± 40.0 feet.¹

A variance to the primary street setback requirement is sought to bring the existing structure into conformance and accommodate the following proposed renovations: (a) addition of a second story over the existing attached garage; (b) the enclosure of a currently recessed portion of the front wall of the house (located between the main part of the house and the attached garage) to create a 1st mudroom and a 2nd floor toilet; and (c) replacement of the front porch.² The proposed second-story addition over the garage includes a bay window that will further encroach into the primary street setback ± 1.5 feet.³ The second-floor addition above the existing attached garage will not otherwise extend beyond the vertical plane of the existing structure (i.e., the addition will not otherwise encroach into the existing ± 34.5 -foot setback from Franklin Pond Road). Similarly, the proposed new front porch will not encroach any further into the primary street setback than the existing front porch it is replacing. Finally, the extension of the currently recessed portion of the front wall of the home (for proposed new mudroom) will not extend beyond either segment of the

¹ The southwest corner of the house (attached garage) is set back from Franklin Pond Road ± 34.5 feet. The northwest corner of the house (adjacent to the pond) is set back from Franklin Pond Road ± 40.0 feet.

² The front porch is an allowed encroachment into the primary street setback per Sandy Springs Development Code §6.1.2.B.1.b.

³ The proposed bay window is 12-feet wide.

existing front walls of the home (i.e. it will not encroach any further into the primary street setback than the existing home). There is only a ±124 square feet portion of the proposed extension in the primary street setback and it will be set back ±43.5 feet from Franklin Pond Road, which is further from the road than other portions of the house as it exists today. As previously noted, the existing front walls of the house are set back between ±34.5 feet to ±40.0 feet from the primary street.

Other than the second-floor bay window, the proposed addition, extension and replacement do not encroach any further into the primary street setback than the existing structure. However, because the existing structure is currently located within the building setback, a variance to reduce the primary street setback requirement from 50-feet to 33-feet for the proposed improvements is requested in accordance with Sandy Springs Development Code § 11.7.2.

B. § 2.3.2(D): Reduce Rear Setback Requirement from 35-feet to 13-feet

Sandy Springs Development Code § 2.3.2(D) requires a 35-foot setback between a rear lot line and any primary or secondary structures located on a lot in the RD-18 district. Currently, a portion of the rear wall of the house encroaches into the rear setback approximately 5 feet.⁴

A variance to the rear setback requirement is sought to bring the existing structure into conformance and accommodate the following proposed renovations: (a) the removal of the existing at-grade, wooden deck and existing screened porch on the back of the house and replacement with a sunroom and a smaller raised deck; and (b) a ±1.5 to 3-foot projection of a portion of the rear wall of house (less than 25 feet in length).⁵ The existing wooden deck located at grade in the rear of the property will be removed as will the existing screened porch, both of which are located within the rear setback and the stream buffer. Other than its stairs, the proposed

⁴ The northeast corner of the house (adjacent to the pond or lake) is set back from the rear lot line approximately 30 feet.

⁵ The ±1.5'-3' extension begins at the southeast corner of the house.

new deck will be located within the footprint of the existing deck. Additionally, a large portion of the area where the existing deck is currently located will be replaced with landscaping, restoring portions of the 50-foot and 75-foot stream buffers. The proposed sunroom will be located within the existing footprint of the screened porch and deck. The proposed sunroom will be located ± 13.8 feet from the rear lot line, which is the same distance as the existing screened porch. Less than a 10-foot-long segment of the rear wall extension will encroach ± 1 to 1.5-feet into the rear setback.⁶ The second-floor addition will be fully contained within the existing footprint and not extend beyond the vertical plane of the existing structure.

Again, the existing structure is already located in the rear setback, and the proposed renovations will encroach no further than the existing structure. In accordance with Sandy Springs Development Code § 11.7.2, Applicant is requesting a variance to reduce the rear lot line setback requirement from 35-feet to 13-feet to accommodate the proposed additions and extensions.

The Subject Property is relatively narrow in depth and irregularly shaped, with topography that slopes down towards the pond and northern boundary.⁷ The narrow depth of the parcel coupled with the stream buffers⁸ located thereon limit the buildable area of the lot. The difficulties with the parcel's shape and topography are also evident in its original construction, where the building encroaches into both the primary street and rear setbacks, as well as the stream buffers. The Applicant will be improving the existing conditions by reducing the amount of impervious surface on the Subject Property, including within the stream buffers, and installing a water quality BMP.

⁶ This falls within the limits of an administrative variance; however, Applicant is including same as part of the variance requested for approval by the BOA for the purpose of concurrent review and approval.

⁷ There is a 30' vertical change in elevation across the width of the Subject Property from the southern boundary to the northern boundary where the pond is located.

⁸ The Community Development Director determined that a variance to the stream buffer requirements was not required for the proposed renovations.

Pursuant to Sandy Springs Development Code § 11.6.2.G.1, the criteria for approval of the variances are met. First, the variance requests will not result in negating the general intent of the Development Code or Comprehensive Plan policies. Approval of the variances is consistent with § 11.7.2(B)(2), which provides a nonconforming structure may be expanded, altered or rebuilt where such expansion, alteration or rebuilding conforms with all the applicable requirements of this Development Code, and § 11.7.2(B)(8), which provides a request to expand, alter or rebuild an existing nonconforming structure may be brought before the Board of Appeals as a request for a variance. Approval of the variances is consistent with the Comprehensive Plan's policy of protecting single-family neighborhoods. Second, the requested variances will not be detrimental to the public safety, health, or welfare of the public or injurious to other property. Third, the variances are requested due to conditions that are unique to the Subject Property and not applicable generally to other property. Fourth, due to the particular physical surroundings, shape, size, and topographical conditions of the Subject Property, an extraordinary hardship will result if the strict letter of these regulations is carried out. Fifth, the variances requested are the minimum necessary to accomplish the renovation of the house. Sixth, equal or greater protection of adjacent properties and natural resources will be achieved by the proposed renovations, which includes stormwater management. Finally, the aforementioned conditions are not the result of action or inaction of the current property.

III. NOTICE OF CONSTITUTIONAL CHALLENGE TO UNDERLYING ZONING AND PRESERVATION OF CONSTITUTIONAL RIGHTS

A refusal to grant the requested variances would be unconstitutional for, among other reasons, it would constitute an unlawful, arbitrary, capricious, irrational and a manifest abuse of discretion; all in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution

of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal to grant the requested variances would discriminate unfairly between the owner of the Subject Property and other property owners similarly situated, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal to grant the requested variances would amount to a taking of property, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal to grant the requested variances would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.

A refusal to grant the requested variances would be invalid inasmuch as the Sandy Springs Development Code is unlawful, null and void because its adoption and map adoption/maintenance did not comply with the requirements of its predecessor ordinance and/or the Zoning Procedures Law, O.C.G.A. § 36-66-1, *et seq.*

The Sandy Springs Development Code lacks adequate standards for the Board of Appeals to exercise its power to review and vote on this Application. The standards are not sufficient to contain the discretion of the Board and to provide the Courts with a reasonable basis for judicial review. Because the stated standards (individually and collectively) are too vague and uncertain to provide reasonable guidance, the City of Sandy Springs Development Code is unlawful and

violates, among other things, the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States and Article I, Section III, Paragraph I and Article I, Paragraphs I and II of the Constitution of State of Georgia.

Any limitation on the time for presentation of the issues before the Board of Appeals is a violation of the guarantees of free speech under Article I, Section I, Paragraph V of the Constitution of the State of Georgia and the First Amendment of the Constitution of the United States. Further, said limitations are in violation of the right to petition and assemble, in violation of Article I, Section I, Paragraph IX of the Constitution of Georgia and the First Amendment of the Constitution of the United States, as well as the Due Process Clauses of the Constitution of Georgia and the Constitution of the United States.

In addition to the above, the Applicant raises the defenses of standing and failure to exhaust administrative remedies.

IV. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests approval of the variances as set out above.

This 4th day of December, 2025.

Respectfully submitted,

Smith, Gambrell & Russell, LLP
1105 W. Peachtree Street, NE
Suite 1000
Atlanta, Georgia 30309
404-815-3500

/s/ Dennis J. Webb, Jr.
Dennis J. Webb, Jr.
J. Alexander Brock
Attorneys For Applicant

LAND SURVEY & SITE PLAN

LEGAL DESCRIPTION

#4825 FRANKLIN POND ROAD

All that tract or parcel of land lying and being in Land Lot 67 of the 17th Land District, of Fulton County, Georgia, being Lot 13, Block A, of Franklin Pond Subdivision, Unit Two as per Plat thereof recorded in Plat Book 148, Page 21 and being more particularly described as follows:

Commencing at a point where the eastern Right of Way line of Franklin Pond Road intersects with the northern Right of Way line of Franklin Road, thence run northerly 135.00 feet along the eastern Right of Way line of Franklin Pond Road to X Mark and the True Point of Beginning.

From the True Point of Beginning being established thence run along the eastern Right of Way of Franklin Pond Road North 05 Degrees 15 Minutes 31 Seconds West a distance of 116.34 feet to a Point,

Thence continue along said Right of Way line along the arc of a curve to the left an arc distance of 28.66 feet (said curve having a radius of 169.00 feet and being subtended by a chord bearing North 11 Degrees 52 Minutes 59 Seconds West a chord distance of 28.63 feet to a 0.5" RBF

Thence leaving the eastern Right of Way of Franklin Pond Road North 69 Degrees 11 Minutes 49 Seconds East a distance of 150.22 feet to a 0.5" RBS,

Thence run South 17 Degrees 07 Minutes 53 Seconds West a distance of 105.00 feet to a Point,

Thence run South 06 Degrees 46 Minutes 40 Seconds East a distance of 30.00 feet to a 0.5" RBF,

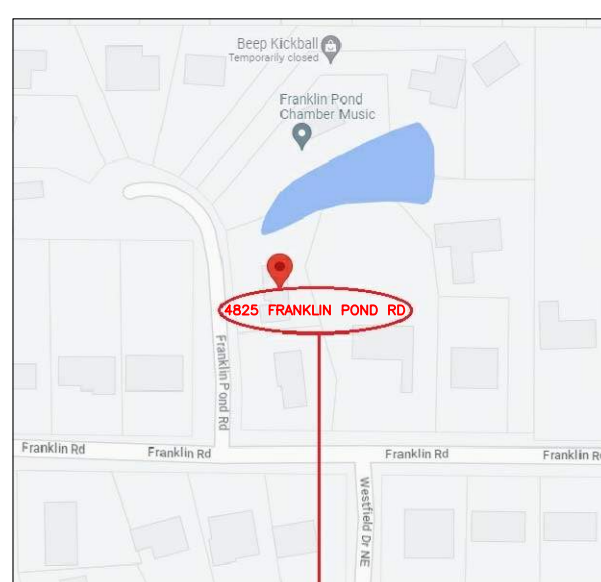
Thence run South 17 Degrees 08 Minutes 40 Seconds East a distance of 60.00 feet to a Nail,

Thence run South 85 Degrees 07 Minutes 11 Seconds West a distance of 114.58 feet to a X Mark, said point being the True Point of Beginning.

Land Area = 0.423 AC

The End

LOCATION MAP
(NOT TO SCALE)



SITE

FLOOD HAZARD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL MAP ID ___1312C0163F___ EFFECTIVE DATE: ___09/18/2013___ ZONE: ___X___
WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE REQUIRING BUFFERS.

- THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

KEY SHEET:

- C1.0: COVER & NOTES
- C2.0: EXISTING CONDITIONS
- C3.0: PROPOSED SITE PLAN
- C4.0: IMPERVIOUS AREA DETAILS
- C5.0: STORMWATER BMP DETAILS
- C6.0: STORMWATER MAINTENANCE
- C7.0: TREE PLAN
- C8.0: EROSION BMP DETAILS
- C9.0: CONSTRUCTION DETAILS

PROPERTY IS ZONED RD-18

BUILDING SETBACKS:
FRONT: 50.0'
SIDE: 10.0'
REAR: 35.0'

MAX. BUILDING HEIGHT: 40' / 3-STORIES
MAX. LOT COVERAGE: 35% (STANDARD)
40% (W/ MITIGATION)

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

DIRT VOLUME STATEMENT:

TOTAL OF GROSS CUBIC YARDS OF CUT: 1
TOTAL OF GROSS CUBIC YARDS OF FILL: 1
EXCESS OF SOIL TO BE HAULED OFF.

DISTURBED AREA STABILIZATION:

ANTICIPATED STARTING DATE: 07/01/2025
ANTICIPATED COMPLETION DATE: 12/01/2025

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

24-HOUR CONTACT:
RAVI DURAIRAJ (404) 867-8545

NAME AND ADDRESS OF OWNER:
RAVI DURAIRAJ
4825 FRANKLIN POND RD
SANDY SPRINGS, GA 30342
rcdchannel@hotmail.com

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED: 01/27/2024 EXPIRES: 01/27/2027

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES BEFORE EXCAVATIONS ARE BEGUN. TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTIONS.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES. TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.
- THE PUBLIC RECORDS INFORMATION AS SHOWN HEREON REFLECT THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
- THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- THIS SURVEY WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM HOUSE.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- STORM DRAINAGE AND SANITARY SEWER EASEMENTS SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
- SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGULAR POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND ACCOMPANYING PLUMB PRISM POLE WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.

SCOPE OF PROJECT:

THE SCOPE OF WORK IS A PROPOSED ADDITION AND RENOVATION OF AN EXISTING 2-STORY HOUSE WITH BASEMENT AND ATTIC FLOORS, WITH GROUND ACCESS FROM BASEMENT AND FIRST FLOOR. ADDITIONS TO THE HEATED SPACE CONSIST OF AN EXPANDED KITCHEN AREA IN THE REAR AND A NEW MUDROOM IN THE FRONT. A NEW PROPOSED FRONT PORCH MAIN ENTRY IS PROPOSED ALONG WITH A NEW CONCRETE PORCH SLAB FOR THE NEW MUDROOM. A 2nd STORY WILL BE ADDED TO THE GARAGE ALONG WITH A NEW CONC. LANDING ALONG THE RIGHT SIDE. PORTIONS OF THE WOOD DECK AND THE SCREENED PORCH IN THE REAR SHALL BE REMOVED AND REPLACED WITH A NEW SUNROOM AND NEW WOOD DECK WITH STAIRS.

NO SUBSTANTIAL GRADING IS PROPOSED; ALL PROPOSED IMPROVEMENTS SHALL CONFORM WITH THE EXISTING TOPOGRAPHY. ALL EXPOSED GROUND BENEATH THE OLD DECK AT GRADE SHALL BE LANDSCAPED AND RE-SEEDED.

NEW STORMWATER QUALITY BMP SHALL BE INSTALLED IN ACCORD WITH THE CITY'S REQUIREMENTS. THE WQ BMP SHALL CONSIST OF AN UNDERGROUND INFILTRATION SYSTEM IN THE FRONT YARD. THE DOWNSPOUTS ALONG THE FRONT OF THE HOUSE WILL BE TIED INTO THE UNDERGROUND WQ BMP TO MITIGATE RUNOFF FROM THE NEW IMPERVIOUS AND DISTURBED AREAS.

NO TREES SHALL BE REMOVED.

TEMPORARY EROSION CONTROL BMPs SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

ALL EXISTING UTILITY SERVICE LINES SHALL REMAIN.

AFTER THE PERMIT IS ISSUED GO ON THE PORTAL AT
WWW.BUILD.SANDYSPRINGSGA.GOV

TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION OR DEMOLITION.

SITE PLAN NOTES:

- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED
- NO DECKS, PATIOS OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD LONGER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF SANDY SPRINGS STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- ALL GRADED SLOPES MUST NOT EXCEED BE 3H:1V. STEEPER SLOPES MAY BE APPROVED UPON CERTIFICATION OF STABILITY BY A SOIL ENGINEER PER DEVELOPMENT CODE SECTION 9.4.2.G.4.
- ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- PER DEVELOPMENT CODE ACCESSORY STRUCTURES (i.e. HVAC AND GENERATOR SLABS) MAY BE LOCATED IN REAR OR SIDE YARDS ONLY BUT SHALL COMPLY WITH ALL MINIMUM YARD AND SETBACK REQUIREMENTS AND SHALL NOT BE LOCATED WITHIN THE SIDE OR REAR YARD SETBACKS.
- WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED.
- LAND DISTURBANCE WITHIN THE RIGHT-OF-WAY IS PROHIBITED.
- TOPOGRAPHY IS BASED ON FIELD RUN DATA BY SURVEY LAND EXPRESS, INC. ON AUGUST 03, 2023. (THE FIELD RUN TOPOGRAPHY DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.)
- THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS HEREON CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY HIMSELF OR HIS AUTHORIZED AGENTS, UNDER HIS SUPERVISION.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITIES IS IN PROCESS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.
- A FOUNDATION FORMS SURVEY IS REQUIRED FOR THIS PROJECT, SEALED BY A STATE OF GEORGIA REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR, VERIFYING THAT THE OUTER EDGE OF THE FOUNDATION IS WITHIN THE SETBACKS SHOWN ON THE PERMITTED SITE PLAN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE SURVEYOR TO CONDUCT THE REQUIRED SURVEY ON THE FOUNDATION DURING CONSTRUCTION, PRIOR TO PLACEMENT OF ANY CONCRETE.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT DRAWING CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM ELEVATIONS OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.
- ALL STORMWATER RUNOFF REDUCTION, WATER QUALITY AND GREEN INFRASTRUCTURE BMPs WILL REQUIRE INSPECTION AND CERTIFICATION BY THE DESIGN PROFESSIONAL PRIOR TO FINAL INSPECTION APPROVAL. AS-BUILT DRAWINGS MUST INCLUDE THIS CERTIFICATION, BMP DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND AS-BUILT COORDINATES (GEORGIA STATE PLANE - WEST ZONE).
- STOCKPILE AREAS MUST BE PLACED AND MAINTAINED WITHIN THE LIMITS OF DISTURBANCE AND HAVE APPROPRIATE EROSION CONTROL BMPs IN PLACE OR BE HAULED IMMEDIATELY FROM THE PROJECT SITE. FAILURE TO PROPERLY MAINTAIN AND PROTECT STOCKPILE AREAS MAY RESULT IN A STOP WORK ORDER AND/OR MAY REQUIRE A PLAN REVISION.

NOTE:
IMMEDIATE STOP WORK ORDER WILL BE ISSUED IF LIMITS OF DISTURBANCE IS ALTERED WITHOUT APPROVAL.
FOLLOW PLANS EXACTLY TO PROTECT BOUNDARY TREES.

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002 ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

ABBREVIATIONS:

- AE ACCESS EASEMENT
- AI ANGLE IRON FOUND
- APD AS PER DEED
- APP AS PER FIELD
- APP AS PER PLAT
- APR AS PER RECORD
- BC BACK OF CURB
- BL BUILDING LINE
- CB BRICK
- CL CATCH BASIN
- CL CENTER LINE
- CLF CHAIN LINK FENCE
- CMO CORRUGATED METAL PIPE
- CP CLEANOUT
- CP CALCULATED POINT
- CTP CRIMP TOP PIPE FOUND
- DEE DEED
- DI DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FR FRAME
- GL GAS LINE
- GM GAS METER
- HW HARDWOOD TREE
- IPF IRON PIN FOUND
- JB JUNCTION BOX
- LLL LAND LOT LINE
- MH MANHOLE
- N NEIGHBOR'S
- OH OVERHANG
- OTP OPEN TOP PIPE FOUND
- OU OWNERSHIP UNCLEAR
- P PLAT
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PN PINE TREE
- POB POINT OF BEGINNING
- PP POWER POLE
- PW POWER LINE
- R RECORD
- RBF REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RCP REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SSE SANITARY SEWER EASEMENT
- SSL SANITARY SEWER LINE
- TB TOP OF BANK
- UE UTILITY EASEMENT
- WD WOOD
- WDF WOOD FENCE
- WL WATER LINE
- WRF WIRE FENCE
- WM WATER METER
- WV WATER VALVE
- YI YARD INLET

LINETYPE LEGEND:

- SS SS SS INDICATES SANITARY SEWER LINE
- P P P P INDICATES POWER LINE
- W W W W W INDICATES WATER LINE
- GAS GAS GAS INDICATES GAS LINE
- X X X INDICATES FENCE LINE
- - - - -CRZ - - - - -CRZ INDICATES CRITICAL ROOT ZONE

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
- (Sd1-Hb) INDICATES Sd1 Type Hb HAYBALES
- (Sd2-PP) INDICATES Sd2 TYPE PP SEDIMENT CONTROL
- (Tr) INDICATES TREE PROTECTION FENCE

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, WINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

GEORGIA 811
Utilities Protection Center, Inc.

Know what's below. Call before you dig.
CALL 811 BEFORE YOU DIG
72 HOURS OF NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY LAND DISTURBANCE ACTIVITIES CAN BEGIN

#BR-25- ----



SURVEY LAND EXPRESS
24 Lenox Pointe
Atlanta, GA 30324
(404) 252-5747
www.SurveyLandExpress.com

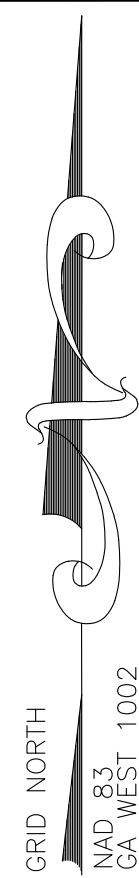
Project No. 20231278	SM	SM	ES	N/A
Design By:	SM	SM	ES	N/A
Drawn By:	SM	SM	ES	N/A
Checked By:	SM	SM	ES	N/A
Date:	05/23/2025			
Scale:				

Date:	
Revision:	
No.	

CL ARCHITECTS ATLANTA
1150 LAKE HEARN DRIVE, SUITE 150
ATLANTA, GA 30342
OFFICE: (404) 303-7008

COVER & NOTES
DURAIRAJ RENOVATION PROJECT
4825 FRANKLIN POND,
CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
LAND LOT 67, 17th DISTRICT

Drawing No.
C1.0



EXIST. UTILITY DATA:

SSMH1 908.47
INV OUT 898.27

SSMH2 921.07
INV OUT 908.77

SSMH3 908.56
INVERTS INACCESSIBLE

CB1 908.70
INV OUT 902.70

CB2 908.58
INV IN 901.18
INV OUT 900.88

D/I 910.31

NOTE A

UNABLE TO FIELD VERIFY AT THE TIME OF SURVEY EXACT PIPE LOCATION WITHOUT EXCAVATION

EXISTING WATER LINE TO BE REUSED
EXISTING WATER METER TO BE REUSED
EXISTING ELECTRIC LINE TO BE REUSED
EXISTING GAS LINE TO BE REUSED
EXISTING SANITARY LATERAL TO BE REUSED
NO SPORTS COURTS PROPOSED
NO SWIMMING POOL PROPOSED
NO RETAINING WALLS PROPOSED

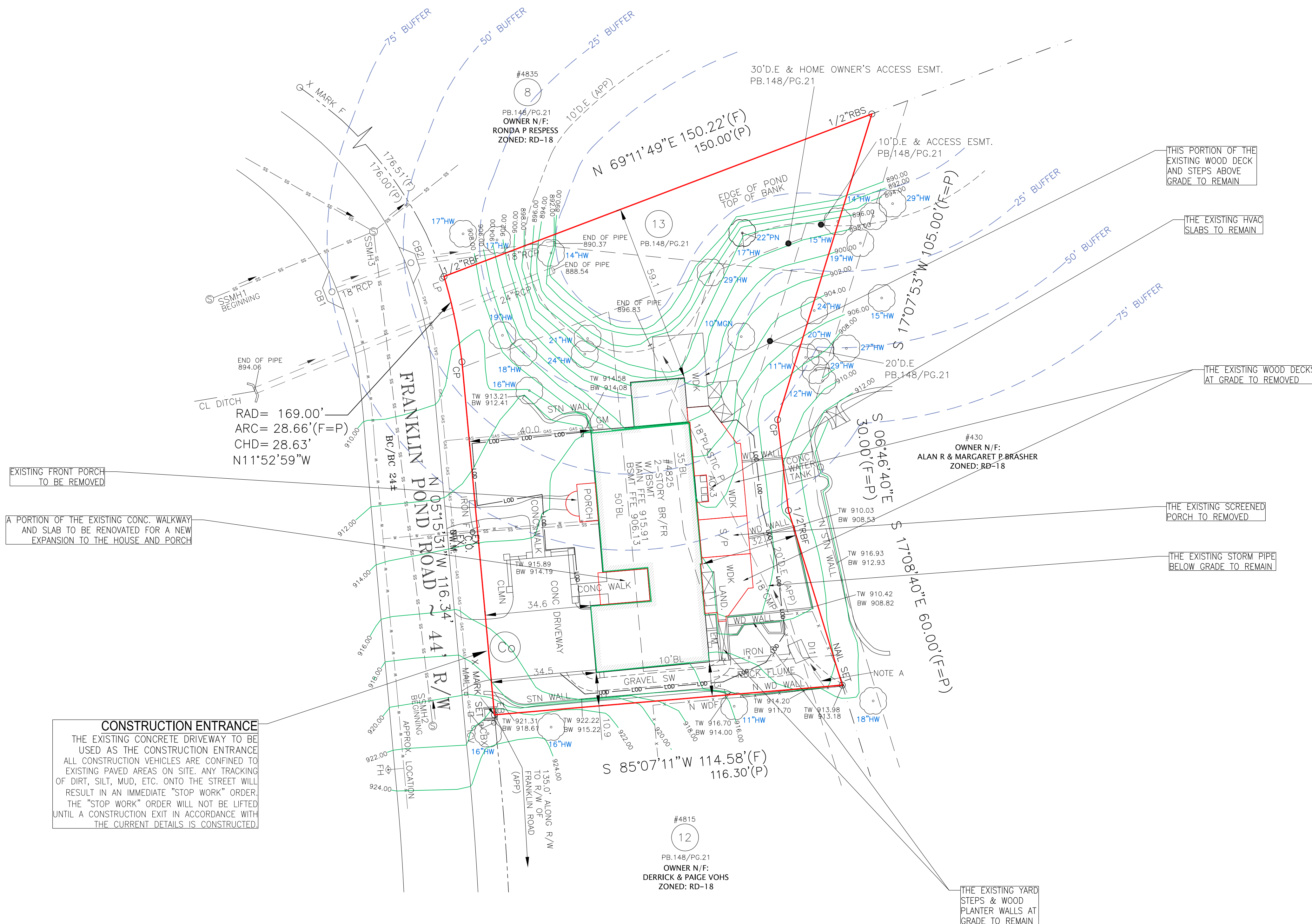
ALL EXISTING UTILITY SERVICE LINES TO REMAIN

PORTIONS OF THE EXISTING IMPROVEMENTS SHOWN HEREON TO BE REMOVED OR RENOVATED ARE DETAILED ON SHEETS C3.0 & C4.0
ALL IMPROVEMENTS SHOWN HEREON ARE EXISTING UNLESS EXPLICITLY LABELED AS "PROPOSED"

NOTE:
IMMEDIATE STOP WORK ORDER WILL BE ISSUED IF LIMITS OF DISTURBANCE IS ALTERED WITHOUT APPROVAL.
FOLLOW PLANS EXACTLY TO PROTECT BOUNDARY TREES.

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002
ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

0 20 40
SCALE 1" = 20'



EXISTING FRONT PORCH TO BE REMOVED

A PORTION OF THE EXISTING CONC. WALKWAY AND SLAB TO BE RENOVATED FOR A NEW EXPANSION TO THE HOUSE AND PORCH

CONSTRUCTION ENTRANCE
THE EXISTING CONCRETE DRIVEWAY TO BE USED AS THE CONSTRUCTION ENTRANCE. ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO THE STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH THE CURRENT DETAILS IS CONSTRUCTED.

THIS PORTION OF THE EXISTING WOOD DECK AND STEPS ABOVE GRADE TO REMAIN

THE EXISTING HVAC SLABS TO REMAIN

THE EXISTING WOOD DECKS AT GRADE TO REMOVED

THE EXISTING SCREENED PORCH TO REMOVED

THE EXISTING STORM PIPE BELOW GRADE TO REMAIN

THE EXISTING YARD STEPS & WOOD PLANTER WALLS AT GRADE TO REMAIN

TOTAL LAND AREA
18,418 SF / 0.423 AC

ALLOWABLE IMPERVIOUS AREA (STANDARD)
6,446 SF / 0.148 AC / 35%

EXISTING IMPERVIOUS AREA (PRE-DEVELOPMENT)
6,374 SF / 0.146 AC / 34.6%



Project No.	20231278
Design By:	SM
Drawn By:	SM
Checked By:	ES
Date:	05/23/2025
Scale:	1" = 20'

No	Revision	Date

CL ARCHITECTS ATLANTA
1150 LAKE HEARN DRIVE, SUITE 150
ATLANTA, GA 30342
OFFICE: (404) 303-7008

EXISTING CONDITIONS
DURAIRAJ RENOVATION PROJECT
4825 FRANKLIN POND,
CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
LAND LOT 67, 17th DISTRICT

Drawing No.
C2.0

EXIST. UTILITY DATA:
 SSMH1 908.47
 INV OUT 898.27
 SSMH2 921.07
 INV OUT 908.77
 SSMH3 908.56
 INVERTS INACCESSIBLE
 CB1 908.70
 INV OUT 902.70
 CB2 908.58
 INV IN 901.18
 INV OUT 900.88
 D/I 910.31

EXISTING WATER LINE TO BE REUSED
 EXISTING WATER METER TO BE REUSED
 EXISTING ELECTRIC LINE TO BE REUSED
 EXISTING GAS LINE TO BE REUSED
 EXISTING SANITARY LATERAL TO BE REUSED
 NO SPORTS COURTS PROPOSED
 NO SWIMMING POOL PROPOSED
 NO RETAINING WALLS PROPOSED

ALL EXISTING UTILITY SERVICE LINES TO REMAIN
 PORTIONS OF THE EXISTING IMPROVEMENTS SHOWN
 HEREON TO BE REMOVED OR RENOVATED ARE
 DETAILED ON SHEETS C3.0 & C4.0
 ALL IMPROVEMENTS SHOWN HEREON ARE EXISTING
 UNLESS EXPLICITLY LABELED AS "PROPOSED"

GRADED SLOPES SHALL NOT EXCEED 3H : 1V

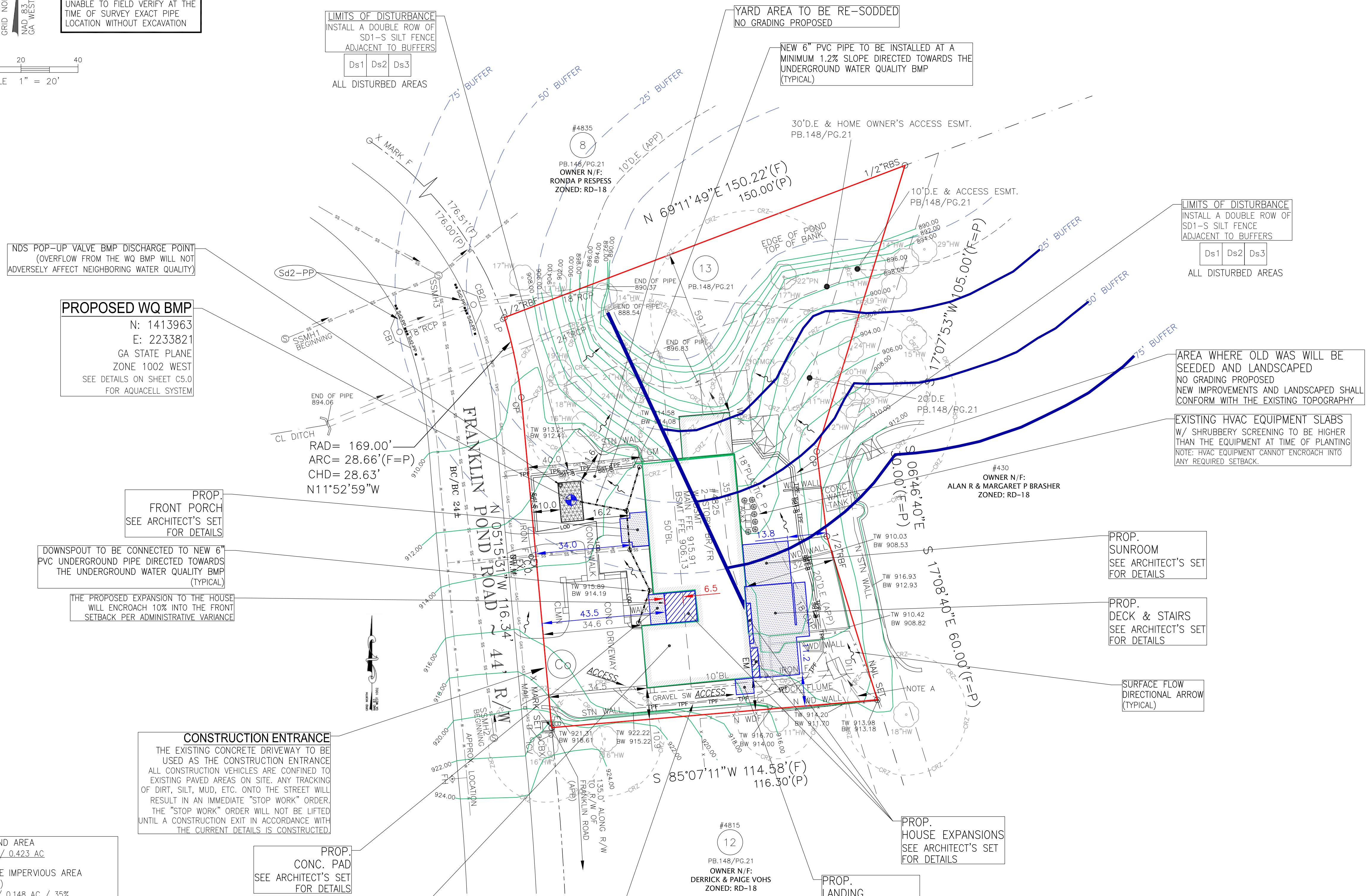
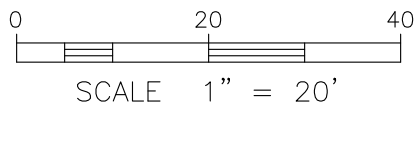
INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

NOTE:
 IMMEDIATE STOP WORK ORDER WILL BE ISSUED IF LIMITS OF
 DISTURBANCE IS ALTERED WITHOUT APPROVAL.
 FOLLOW PLANS EXACTLY TO PROTECT BOUNDARY TREES.

BEARINGS SHOWN HEREON ARE RELATIVE TO
 THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002
 ELEVATIONS SHOWN HEREON RELATIVE TO
 THE NORTH AMERICAN VERTICAL DATUM OF 1988

NOTE A
 UNABLE TO FIELD VERIFY AT THE
 TIME OF SURVEY EXACT PIPE
 LOCATION WITHOUT EXCAVATION



PROPOSED WQ BMP
 N: 1413963
 E: 2233821
 GA STATE PLANE
 ZONE 1002 WEST
 SEE DETAILS ON SHEET C5.0
 FOR AQUACELL SYSTEM

PROP. FRONT PORCH
 SEE ARCHITECT'S SET
 FOR DETAILS

DOWNSPOUT TO BE CONNECTED TO NEW 6"
 PVC UNDERGROUND PIPE DIRECTED TOWARDS
 THE UNDERGROUND WATER QUALITY BMP
 (TYPICAL)

THE PROPOSED EXPANSION TO THE HOUSE
 WILL ENCRoACH 10% INTO THE FRONT
 SETBACK PER ADMINISTRATIVE VARIANCE

CONSTRUCTION ENTRANCE
 THE EXISTING CONCRETE DRIVEWAY TO BE
 USED AS THE CONSTRUCTION ENTRANCE
 ALL CONSTRUCTION VEHICLES ARE CONFINED TO
 EXISTING PAVED AREAS ON SITE. ANY TRACKING
 OF DIRT, SILT, MUD, ETC. ONTO THE STREET WILL
 RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
 THE "STOP WORK" ORDER WILL NOT BE LIFTED
 UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH
 THE CURRENT DETAILS IS CONSTRUCTED.

PROP. CONC. PAD
 SEE ARCHITECT'S SET
 FOR DETAILS

PROP. 2nd STORY
 TO BE ADDED
 SEE ARCHITECT'S SET
 FOR DETAILS

LIMITS OF DISTURBANCE
 INSTALL TREE PROTECTION
 ONLY IN UPLAND AREAS TO
 PRESERVE ADJACENT TREES

Ds1 Ds2 Ds3
 ALL DISTURBED AREAS

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
Sd1-S Sd1-S Sd1-S
- (Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES
H Sd1-Hb H Sd1-Hb H Sd1-Hb H Sd1-Hb H
- (Sd2-PP) INDICATES Sd2 TYPE PP SEDIMENT CONTROL
Sd2-PP Sd2-PP Sd2-PP Sd2-PP
- (Tr) INDICATES TREE PROTECTION FENCE
TPF TPF TPF TPF

LIMITS OF DISTURBANCE
 INSTALL A DOUBLE ROW OF
 SD1-S SILT FENCE
 ADJACENT TO BUFFERS
 Ds1 Ds2 Ds3
 ALL DISTURBED AREAS

AREA WHERE OLD WAS WILL BE
 SEEDED AND LANDSCAPED
 NO GRADING PROPOSED
 NEW IMPROVEMENTS AND LANDSCAPED SHALL
 CONFORM WITH THE EXISTING TOPOGRAPHY

EXISTING HVAC EQUIPMENT SLABS
 W/ SHRUBBERY SCREENING TO BE HIGHER
 THAN THE EQUIPMENT AT TIME OF PLANTING
 NOTE: HVAC EQUIPMENT CANNOT ENCRoACH INTO
 ANY REQUIRED SETBACK.

PROP. SUNROOM
 SEE ARCHITECT'S SET
 FOR DETAILS

PROP. DECK & STAIRS
 SEE ARCHITECT'S SET
 FOR DETAILS

PROP. LANDING
 SEE ARCHITECT'S SET
 FOR DETAILS

PROP. HOUSE EXPANSIONS
 SEE ARCHITECT'S SET
 FOR DETAILS

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LECUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

TOTAL LAND AREA
 18,418 SF / 0.423 AC
 ALLOWABLE IMPERVIOUS AREA
 (STANDARD)
 6,446 SF / 0.148 AC / 35%
 EXISTING IMPERVIOUS AREA
 (PRE-DEVELOPMENT)
 6,374 SF / 0.146 AC / 34.6%
 PROPOSED IMPERVIOUS AREA
 (NET TOTAL NEW AREAS)
 1,146 SF
 (NET TOTAL POST-DEVELOPMENT)
 6,249 SF / 0.143 AC / 33.9%
 (1,150-500 SF RENOVATION CREDIT)
 = 650 SF (REQUIRED FOR SWM PLAN)
 PROPOSED DISTURBED AREA
 3,200 SF (REQUIRED FOR SWM PLAN)



SURVEY LAND EXPRESS
 24 Lenox Pointe
 Atlanta, GA 30324
 (404) 252-5747
 www.SurveyLandExpress.com

Project No. 20231278
 Design By: SM
 Drawn By: SM
 Checked By: ES
 Date: 05/23/2025
 Scale: 1" = 20'

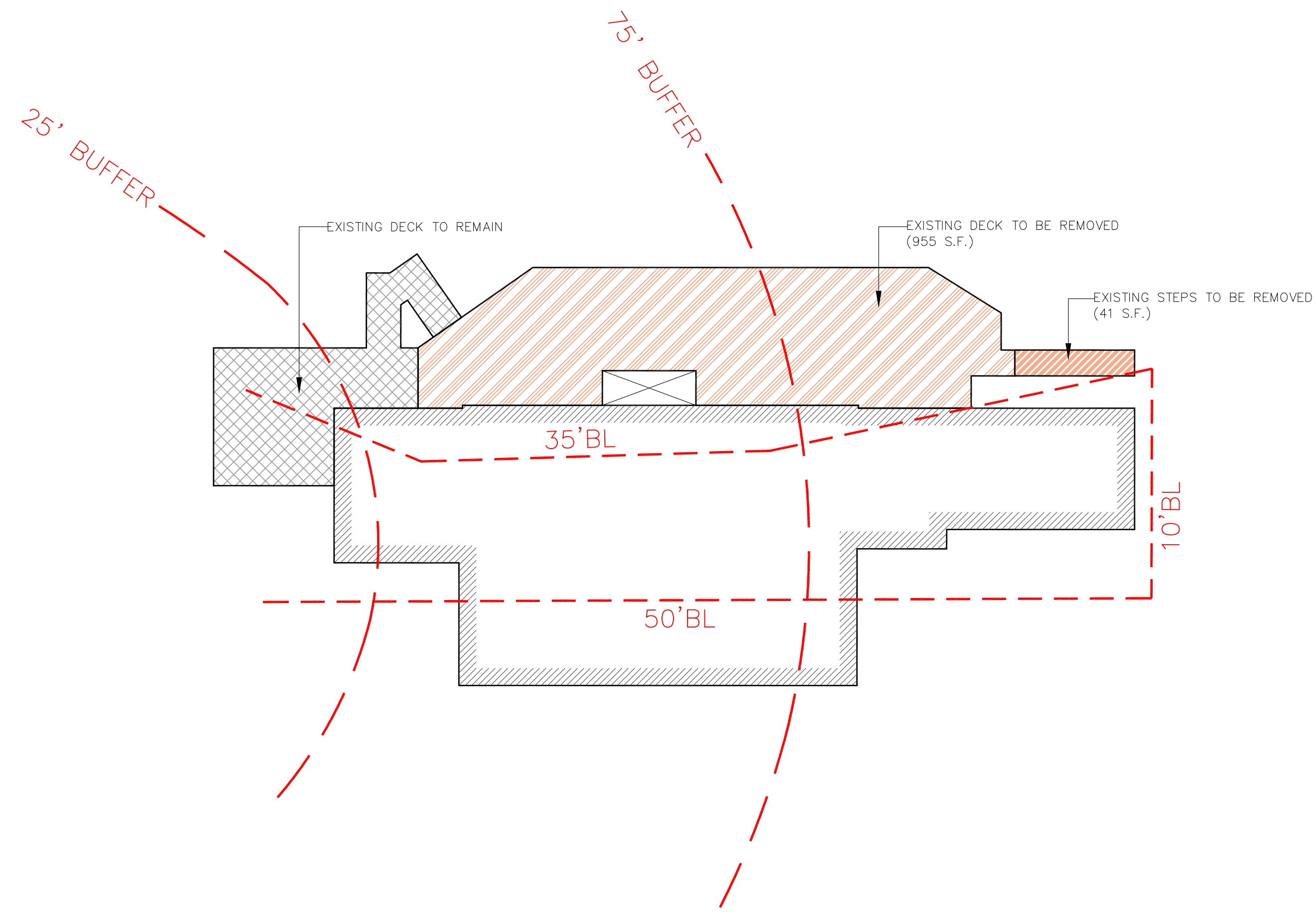
Date	
Revision	
No	

CL ARCHITECTS ATLANTA
 1150 LAKE HEARN DRIVE, SUITE 150
 ATLANTA, GA 30342
 OFFICE: (404) 303-7008

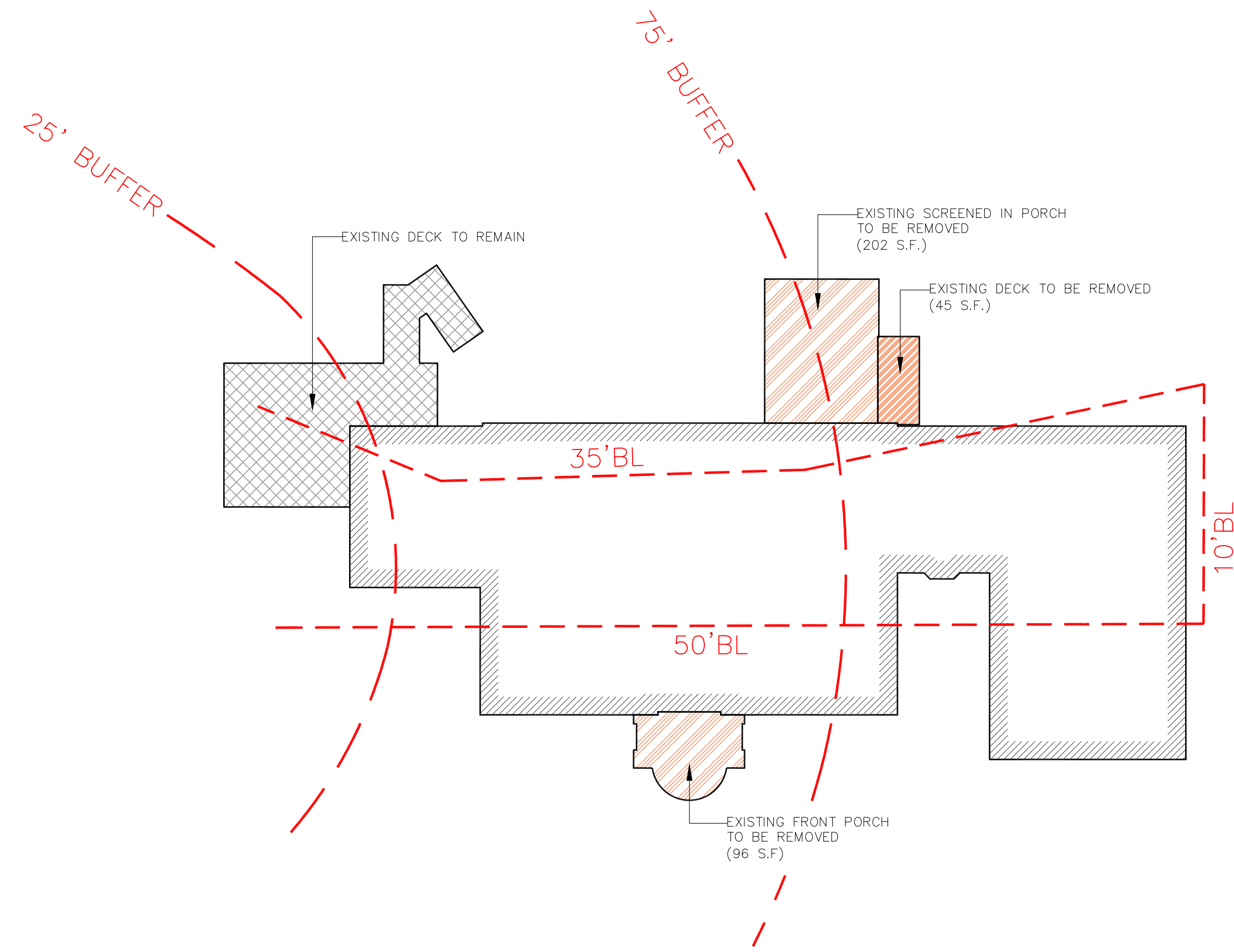
PROPOSED SITE PLAN
DURAIRAJ RENOVATION PROJECT
 4825 FRANKLIN POND,
 CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
 LAND LOT 67, 17th DISTRICT

Drawing No.
C3.0

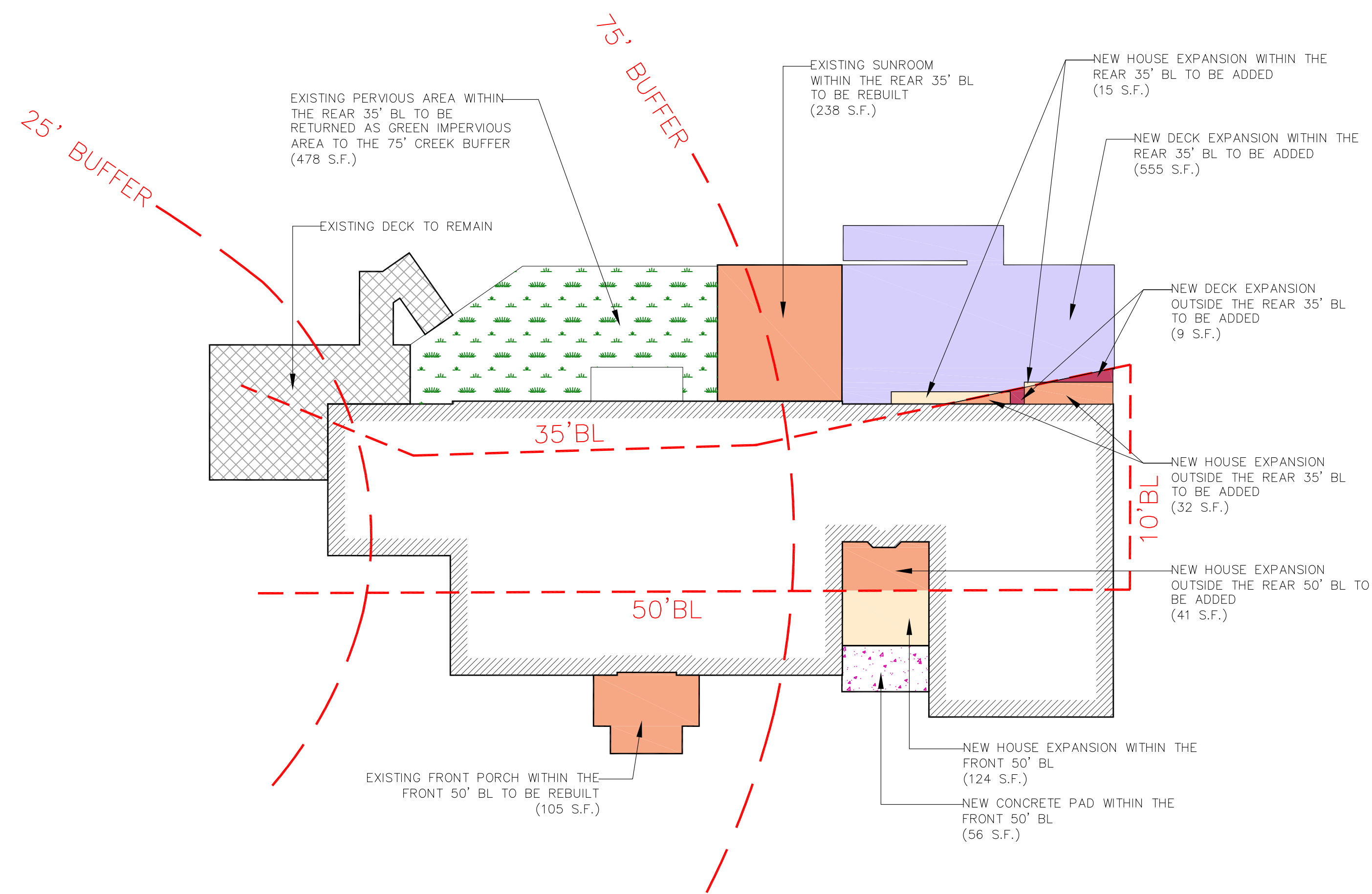
SETBACK AND BUFFER ENCROACH AREA DETAILS FOR VARIANCE



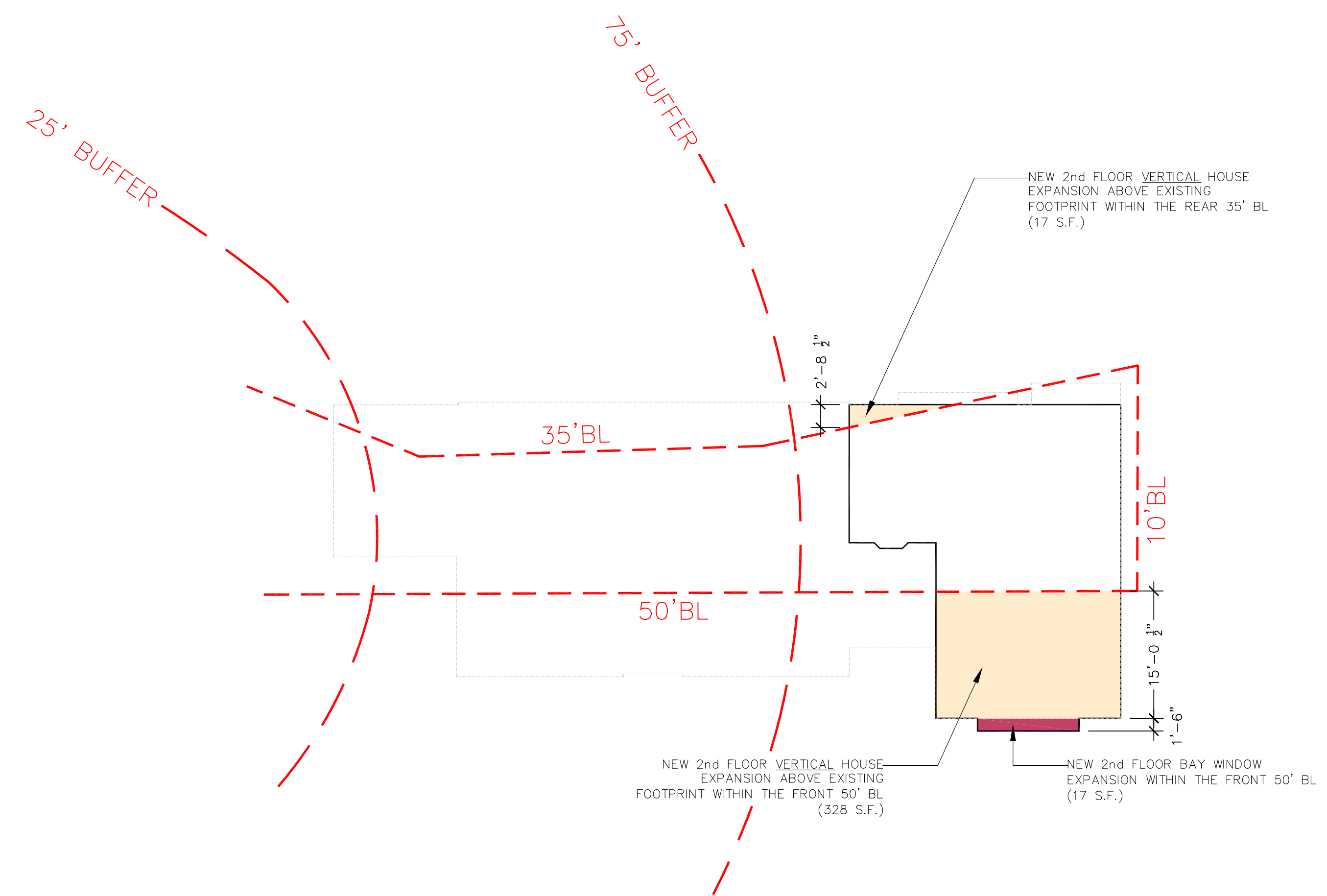
EXISTING BASEMENT FLOOR AREAS OF HOUSE AND DECK TO BE REMOVED OR RENOVATED



EXISTING FIRST FLOOR AREAS OF HOUSE AND DECK TO BE REMOVED OR RENOVATED



PROPOSED FIRST FLOOR AREAS OF HOUSE AND DECK EXPANSION AREAS WITHIN AND OUTSIDE FRONT AND REAR BUILDING LINES



PROPOSED SECOND FLOOR "VERTICAL" HOUSE EXPANSION AREAS WITHIN FRONT AND REAR BUILDING LINES



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Project No.	20231278
Design By:	SM
Drawn By:	SM
Checked By:	ES
Date:	05/23/2025
Scale:	NOT TO SCALE

No.	Revision	Date
1	ADD DETAILS FOR VARIANCE	09/04/25

CL ARCHITECTS ATLANTA
 1150 LAKE HEARN DRIVE, SUITE 150
 ATLANTA, GA 30342
 OFFICE: (404) 303-7008

VARIANCE AREA DETAILS
DURAIRAJ RENOVATION PROJECT
 CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
 LAND LOT 67, 17th DISTRICT

WATER QUALITY SIZING CALCULATIONS FOR NANCY CREEK DECLARED SENSITIVE AREA

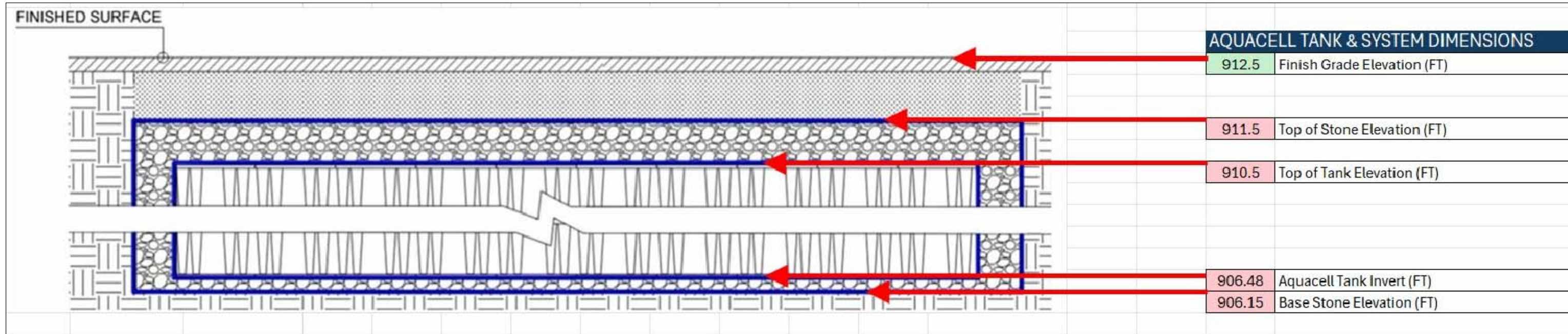
STANDARD CALCULATION FOR IMPERVIOUS AREAS:

VOLUME CALCULATIONS FOR THE FIRST 1.2" (0.10 FT) OF STORM RUNOFF FROM IMPERVIOUS AREA 650 SF
 $Wov\ 0.10 \times 650 = 65\ CF$

STANDARD CALCULATION FOR DISTURBED AREAS:

VOLUME CALCULATIONS FOR THE FIRST 1.2" (0.10 FT) OF STORM RUNOFF FROM DISTURBED AREA 3,200 SF
 $Wov\ 0.10 \times 3,200 = 320\ CF$

$65 + 320 = 385\ CF$ TOTAL MINIMUM REQUIRED VOLUME



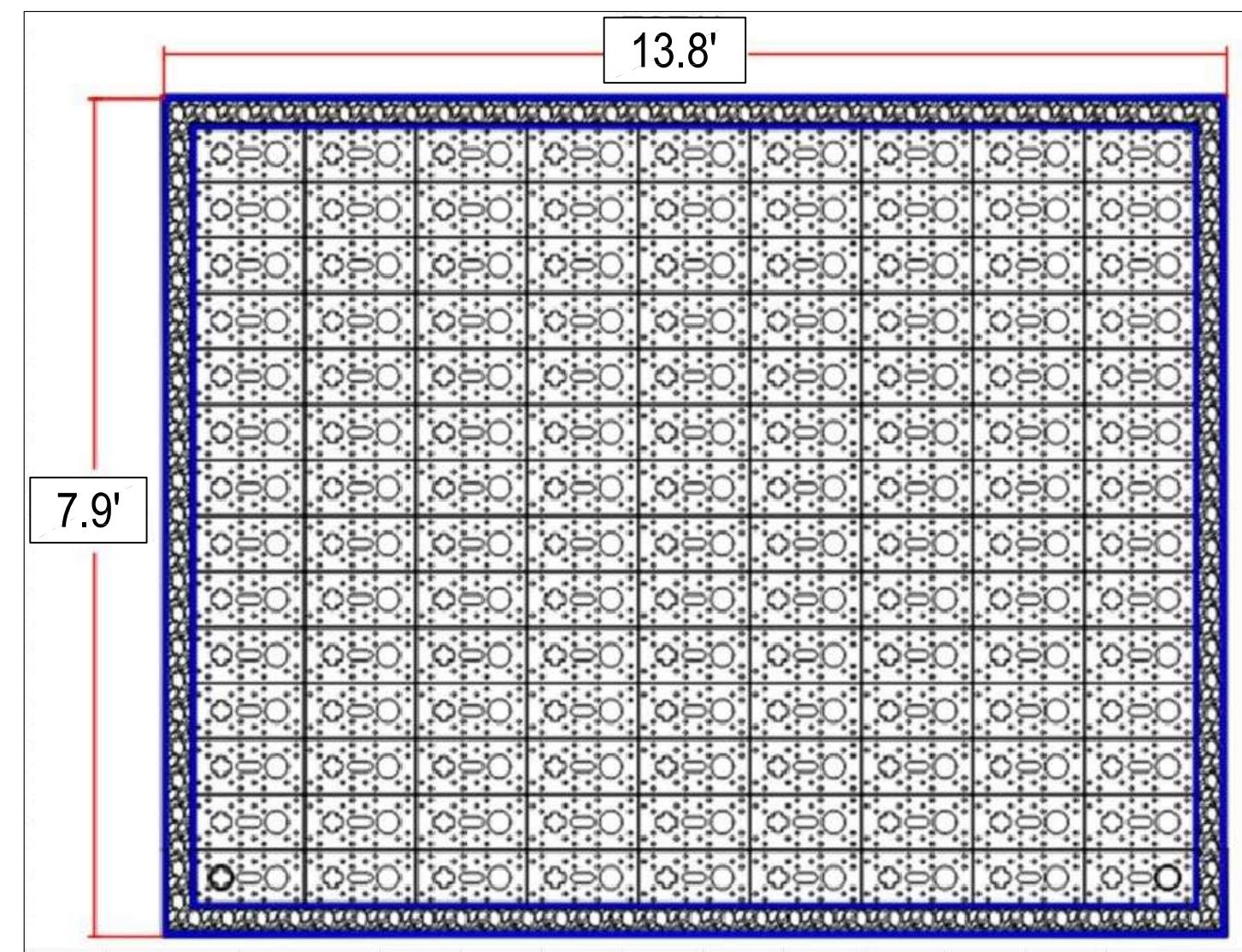
PROPOSED SIZE

Wavin AquaCell tank

Project: 4825 Franklin

Number of Modules:	9
Type of Module:	3-layer
Width of side fill [in]:	12
Amount of Stone Above Modules [in]:	12
Amount of Stone Below Modules [in]:	4
Length of Tank System (FT):	11.80
Width of Tank System (FT):	5.90
Stone Perosity:	40%
Number of Tanks on length side:	3
Number of Tanks on width side:	3
Total System Storage Volume	389.17 CF
Total Length:	13.80 FT
Total Width:	7.90 FT

THE PROPOSED AQUACELL SIZE EXCEEDS THE MINIMUM REQUIRED VOLUME OF 385 CF



Geosciences Engineering
 319 Atlanta Street SE, Suite 100, Marietta, GA 30060-2264
 Tel: 770-428-4070 Fax: 770-428-9570

PROJECT NAME: Porchet Infiltration Test TEST METHOD: Porchet
 PROJECT LOCATION: 4825 Franklin Pond, Sandy Springs
 COUNTY: Fulton PARCEL ID: 17 006700070114
 OWNER/SPONSOR: Steve McKean TELEPHONE: 404-252-5747
 ADDRESS/EMAIL: steve@surveylandexpress.com
 TEST LOCATION (STATE PLANE COORD.): N: 1413963 E: 2233821 TEST ID: X1

Pre-Saturation Time t (min)	30.0 (min)
Water Temperature T (°F)	70.0 (°F)
Borehole Radius r (in)	2.3 (in)
Backhoe Pit Depth P (in)	0.0 (in)
Borehole Depth D (in)	48.0 (in)
Infil. Test Depth D+P (in)	48.0 (in)
Initial Water Level H ₀ (in)	36.0 (in)
Final Water Level H _f (in)	43.1 (in)
Initial Pressure Head h ₀ (in)	12.0 (in)
Final Pressure Head h _f (in)	4.9 (in)
Water Viscosity η(cp)	9.79E-01 (cp)
Infiltration Rate K (in/hr)	0.57

Note: Dug to 72", did not hit rock or water table at test site. Result Criteria: >0.50 in/hr is passing, below 0.50 is failing.

Observ. No.	Elapsed Time (hr:min:sec)	Depth to Water Level H _t (in)	Depth to Water Level H _t (cm)	Pressure Head h _t (cm)	Elapsed Time t (sec)	h _t +r/2 (cm)
1	0:00:00	36.00	91.4	30.5	0	33.3
2	0:08:00	38.25	97.2	24.8	480	27.6
3	0:16:00	40.00	101.6	20.3	960	23.2
4	0:24:00	41.00	104.1	17.8	1440	20.6
5	0:32:00	41.38	105.1	16.8	1920	19.7
6	0:40:00	42.00	106.7	15.2	2400	18.1
7	0:48:00	42.50	108.0	14.0	2880	16.8
8	0:56:00	42.88	108.9	13.0	3360	15.9
9	1:04:00	43.13	109.5	12.4	3840	15.2

SOIL ASADY AND SOIL CLASSIFICATION
 REGISTERED PROFESSIONAL ENGINEER
 NUMBER: 1558
 LICENSED EXPIRES: 12/31/2025

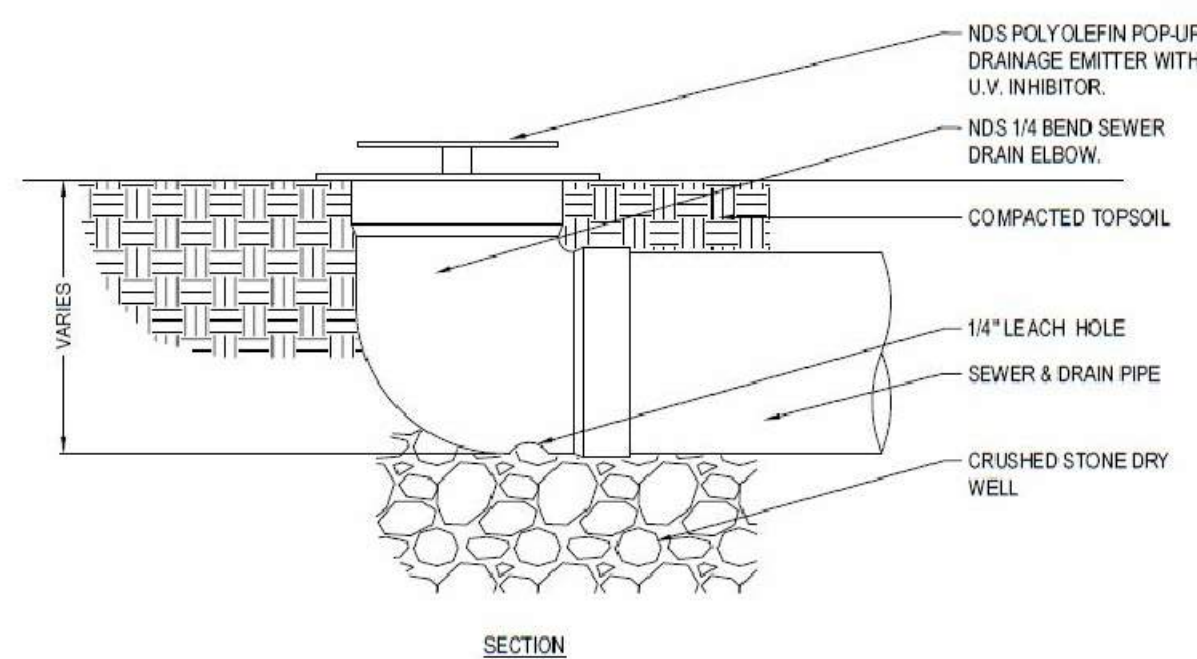
PROCHET INFILTRATION CHART

NOTE: The infil. rate is based on limited observations and pre-construction site conditions. Design engineer should consider a design safety factor to account for potential reduction in infiltration capacity due to soil variability, construction impact and future sitation. Geosciences Engineering will not be responsible for any damage to this and neighboring properties resulting from; reduced infiltration capacity, lack of emergency overflow, inappropriate overflow outfall and other design deficiencies.

PROJECT ENG: Killen Middleton
 SIGNATURE: Sam Asady, Ph.D., P.E.
 DATE: 2025-05-27 TITLE: Soil Scientist



NDS, INC.
 851 N. HARVARD AVE.
 LINDSAY, CA 93247
 TOLL FREE: 1-800-726-1994 EXT 3
 www.ndspro.com
 techservice@ndspro.com



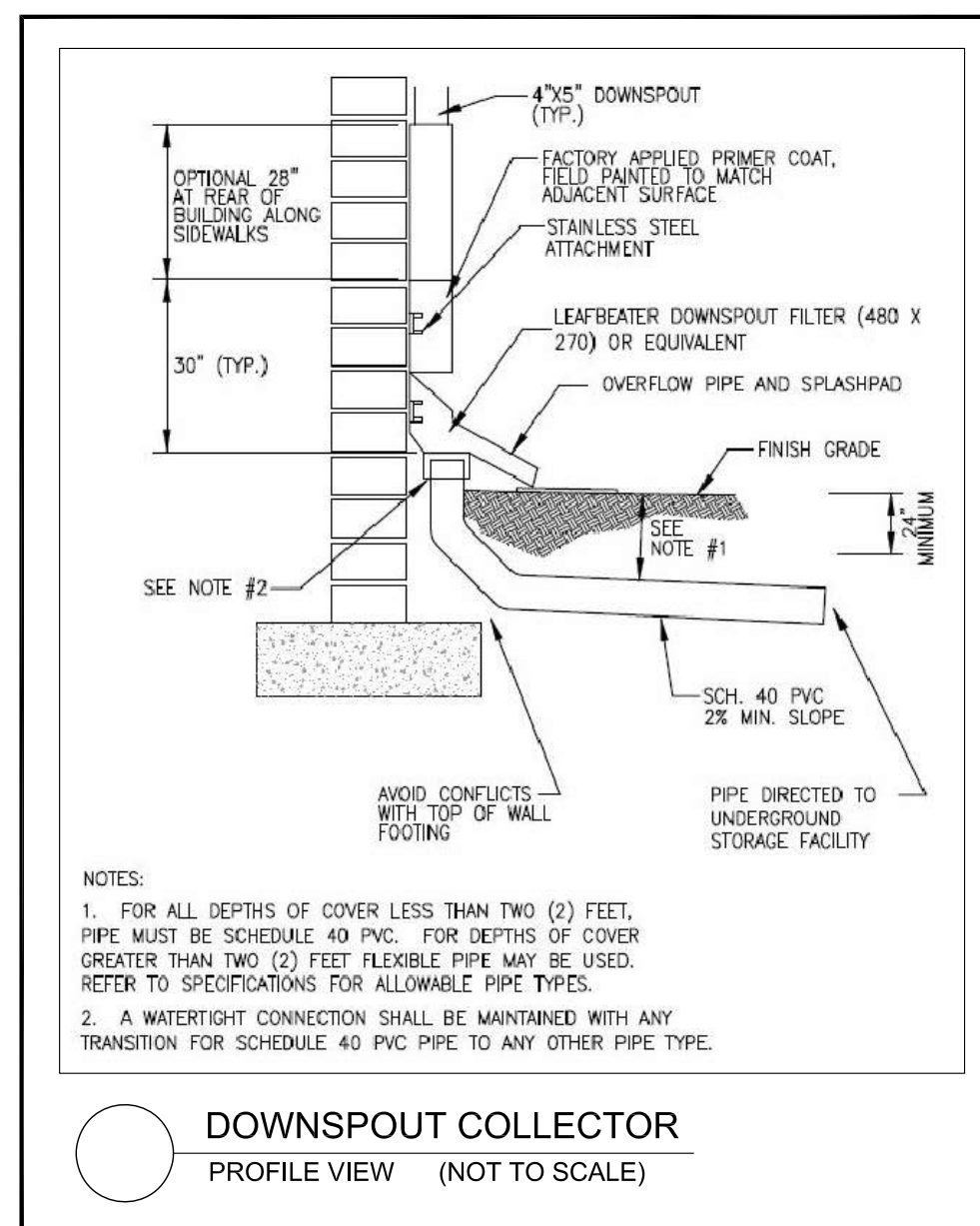
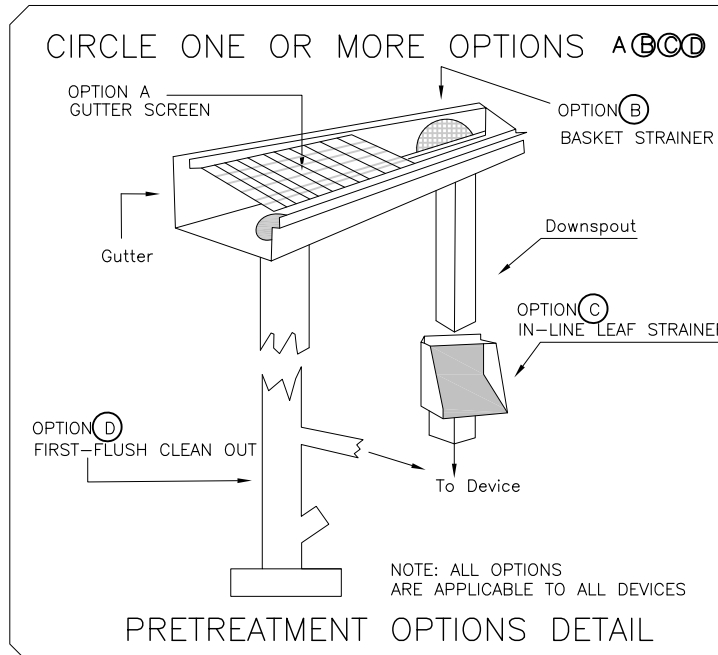
- NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER 558-264.



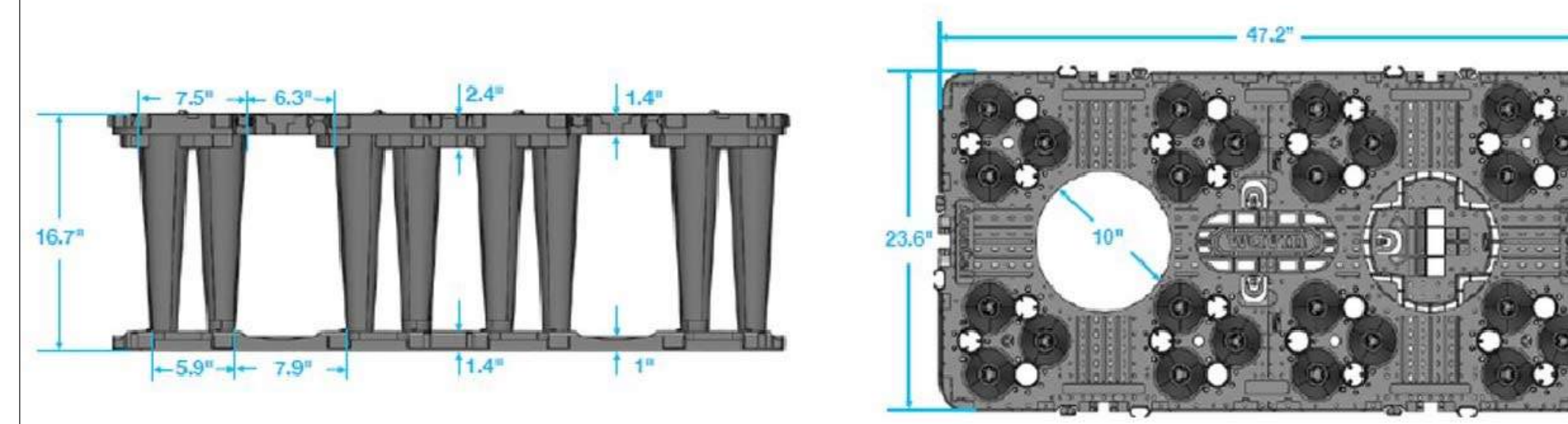
558-264

REVISION DATE 18/10/2021

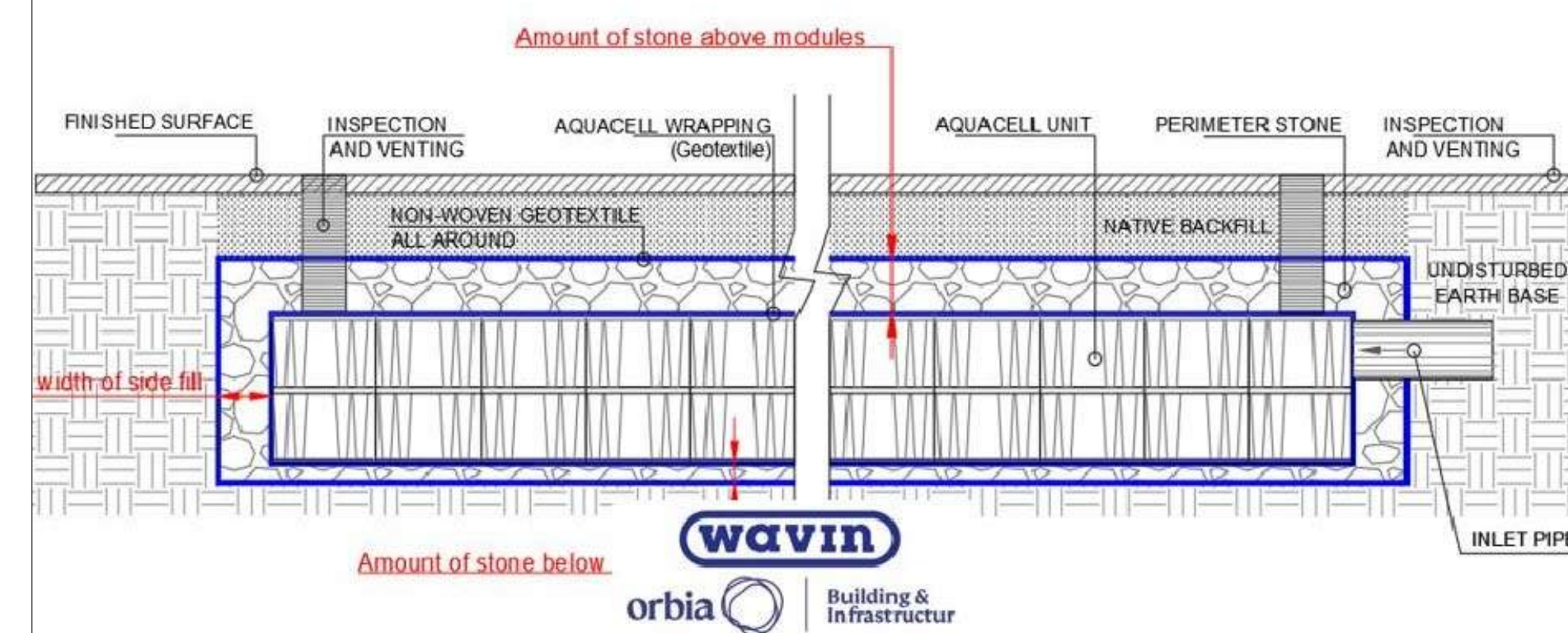
CIRCLED ITEMS ARE REQUIRED



AquaCell Technical Specifications



AquaCell CROSS SECTION DETAIL



Project No. 20231278

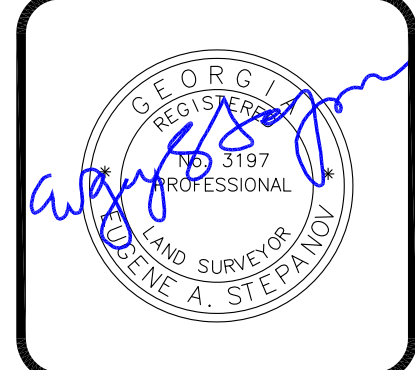
Design By:	SM
Drawn By:	SM
Checked By:	ES
Date:	05/23/2025
Scale:	N/A

Date:	
Revision	
No	

CL ARCHITECTS ATLANTA
 1150 LAKE HARN DRIVE, SUITE 150
 ATLANTA, GA 30342
 OFFICE: (404) 303-7008

STORMWATER BMP DETAILS
DURAIRAJ RENOVATION PROJECT
 4825 FRANKLIN POND,
 CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
 LAND LOT 67, 17th DISTRICT

Drawing No.
C5.0



SURVEY LAND EXPRESS
 24 Lenox Park
 Atlanta, GA 30324
 (404) 252-5747
 www.SurveyLandExpress.com

Project No. 20231276
 Design By: SM
 Drawn By: SM
 Checked By: ES
 Date: 05/23/2025
 Scale: 1" = 20'

No.	Revision	Date

CL ARCHITECTS ATLANTA
 1150 LAKE HEARN DRIVE, SUITE 150
 ATLANTA, GA 30342
 OFFICE: (404) 303-7008

TREE PLAN
DURAIRAJ RENOVATION PROJECT
 4825 FRANKLIN POND,
 CITY OF SANDY SPRINGS, FULTON COUNTY, GA 30342
 LAND LOT 67, 17th DISTRICT

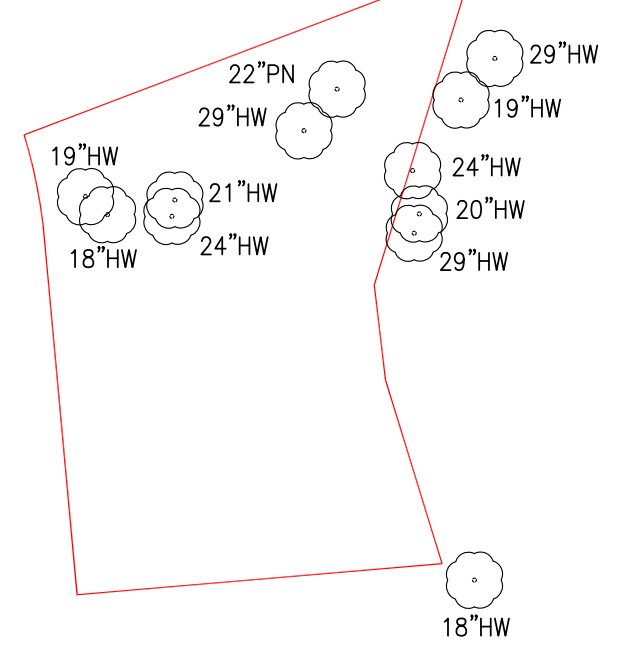
Drawing No.
C7.0

NOTE:
 IMMEDIATE STOP WORK ORDER WILL BE ISSUED IF LIMITS OF DISTURBANCE IS ALTERED WITHOUT APPROVAL. FOLLOW PLANS EXACTLY TO PROTECT BOUNDARY TREES.

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002 ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

NO TREES TO BE REMOVED
 TREES ARE IMPACTED ONLY WHERE EXPLICITLY STATED

TREE CANOPY DETAIL
 (1" = 60')



PROTECTED TREES TO REMAIN
 QUALIFYING FOR CANOPY CALCS
 9 @ 1,000 = 9,000 SF
 3 @ 1,250 = 3,750 SF
 TOTAL = 12,750 SF

CANOPY REQUIREMENTS:
 NET LOT AREA: 18,418 SF
 REQUIRED: 6,446 SF (35%)
 REMAINING: 12,750 SF (69%)

THE PROPOSED REDEVELOPMENT DOES NOT CAUSE THE PROJECT SITE TO BE BELOW MINIMUM CANOPY REQUIREMENT REQUIREMENT SATISFIED

NO GRADING IN SIDE YARDS AND NO LANDMARK TREES TO BE REMOVED

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

- Co CONSTRUCTION ENTRANCE/EXIT
- INDICATES Sd1 TYPE S SILT FENCE
 Sd1-S Sd1-S Sd1-S
- INDICATES Sd1 TYPE Hb HAYBALES
 Sd1-Hb Sd1-Hb Sd1-Hb Sd1-Hb
- INDICATES Sd2 TYPE PP SEDIMENT CONTROL
 Sd2-PP Sd2-PP Sd2-PP Sd2-PP Sd2-PP
- INDICATES TREE PROTECTION FENCE
 TPF TPF TPF

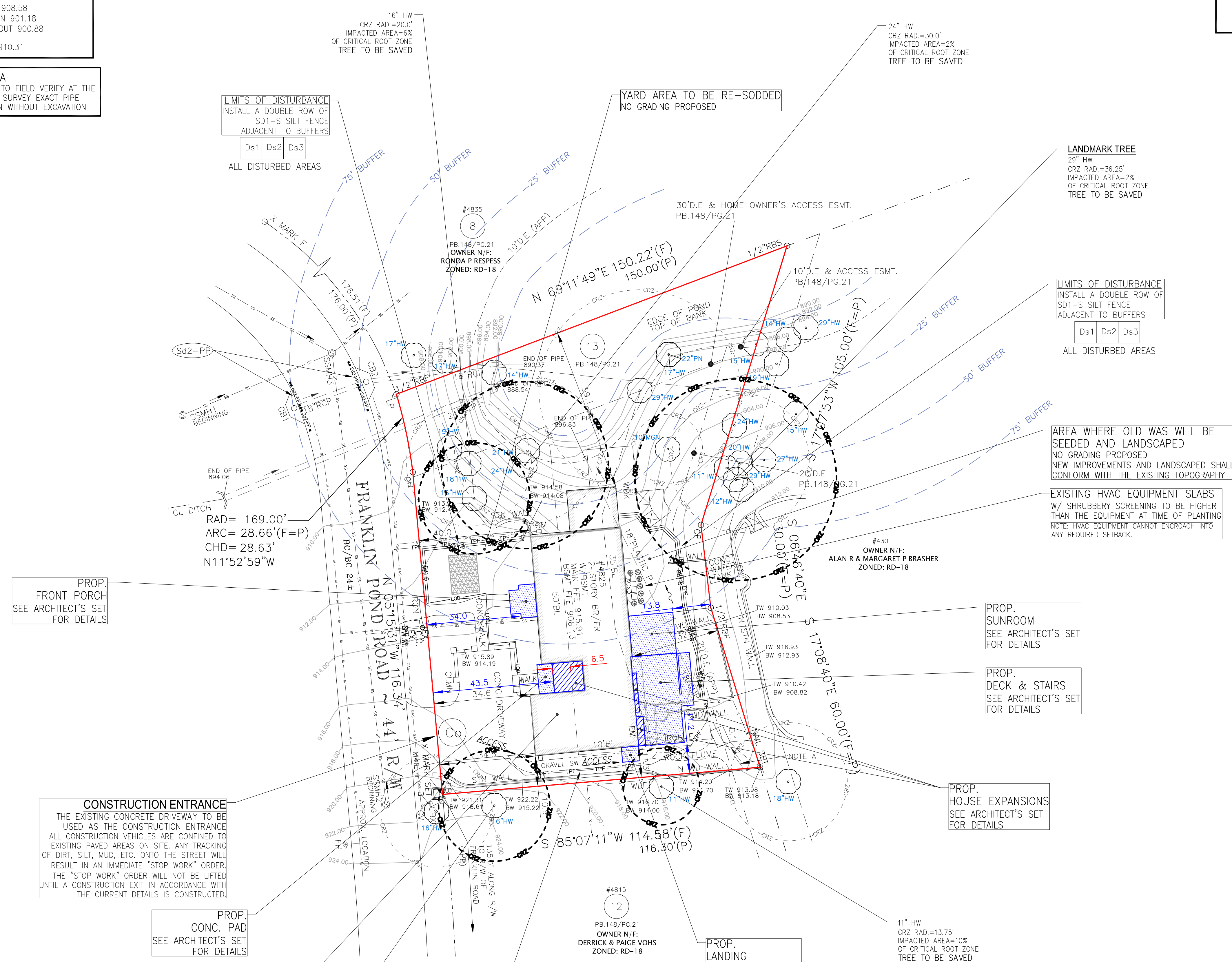
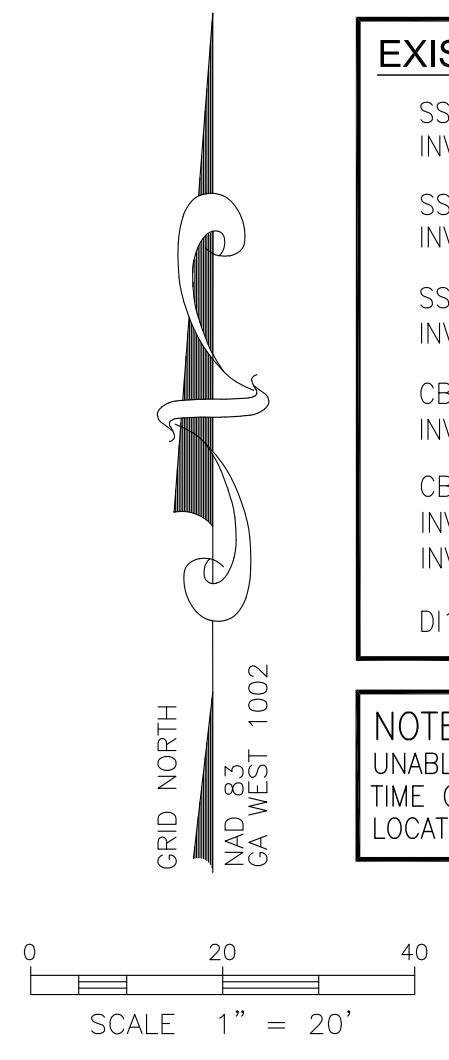
- TREE PROTECTION:** (Tr)
- ALL THE SAVE FENCINGS TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
 - NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
 - KEEP OUT SIGN.

EXIST. UTILITY DATA:
 SSMH1 908.47
 INV OUT 898.27
 SSMH2 921.07
 INV OUT 908.77
 SSMH3 908.56
 INVERTS INACCESSIBLE
 CB1 908.70
 INV OUT 902.70
 CB2 908.58
 INV IN 901.18
 INV OUT 900.88
 DI1 910.31

EXISTING WATER LINE TO BE REUSED
 EXISTING WATER METER TO BE REUSED
 EXISTING ELECTRIC LINE TO BE REUSED
 EXISTING GAS LINE TO BE REUSED
 EXISTING SANITARY LATERAL TO BE REUSED
 NO SPORTS COURTS PROPOSED
 NO SWIMMING POOL PROPOSED
 NO RETAINING WALLS PROPOSED

ALL EXISTING UTILITY SERVICE LINES TO REMAIN
 PORTIONS OF THE EXISTING IMPROVEMENTS SHOWN HEREON TO BE REMOVED OR RENOVATED ARE DETAILED ON SHEETS C3.0 & C4.0
 ALL IMPROVEMENTS SHOWN HEREON ARE EXISTING UNLESS EXPLICITLY LABELED AS "PROPOSED"

NOTE A
 UNABLE TO FIELD VERIFY AT THE TIME OF SURVEY EXACT PIPE LOCATION WITHOUT EXCAVATION



PROP. FRONT PORCH
 SEE ARCHITECT'S SET FOR DETAILS

CONSTRUCTION ENTRANCE
 THE EXISTING CONCRETE DRIVEWAY TO BE USED AS THE CONSTRUCTION ENTRANCE. ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO THE STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH THE CURRENT DETAILS IS CONSTRUCTED.

PROP. CONC. PAD
 SEE ARCHITECT'S SET FOR DETAILS

PROP. 2nd STORY TO BE ADDED
 SEE ARCHITECT'S SET FOR DETAILS

LIMITS OF DISTURBANCE
 INSTALL TREE PROTECTION ONLY IN UPLAND AREAS TO PRESERVE ADJACENT TREES
 ALL DISTURBED AREAS

16" HW
 CRZ RAD.=20.0'
 IMPACTED AREA=6%
 OF CRITICAL ROOT ZONE
 TREE TO BE SAVED

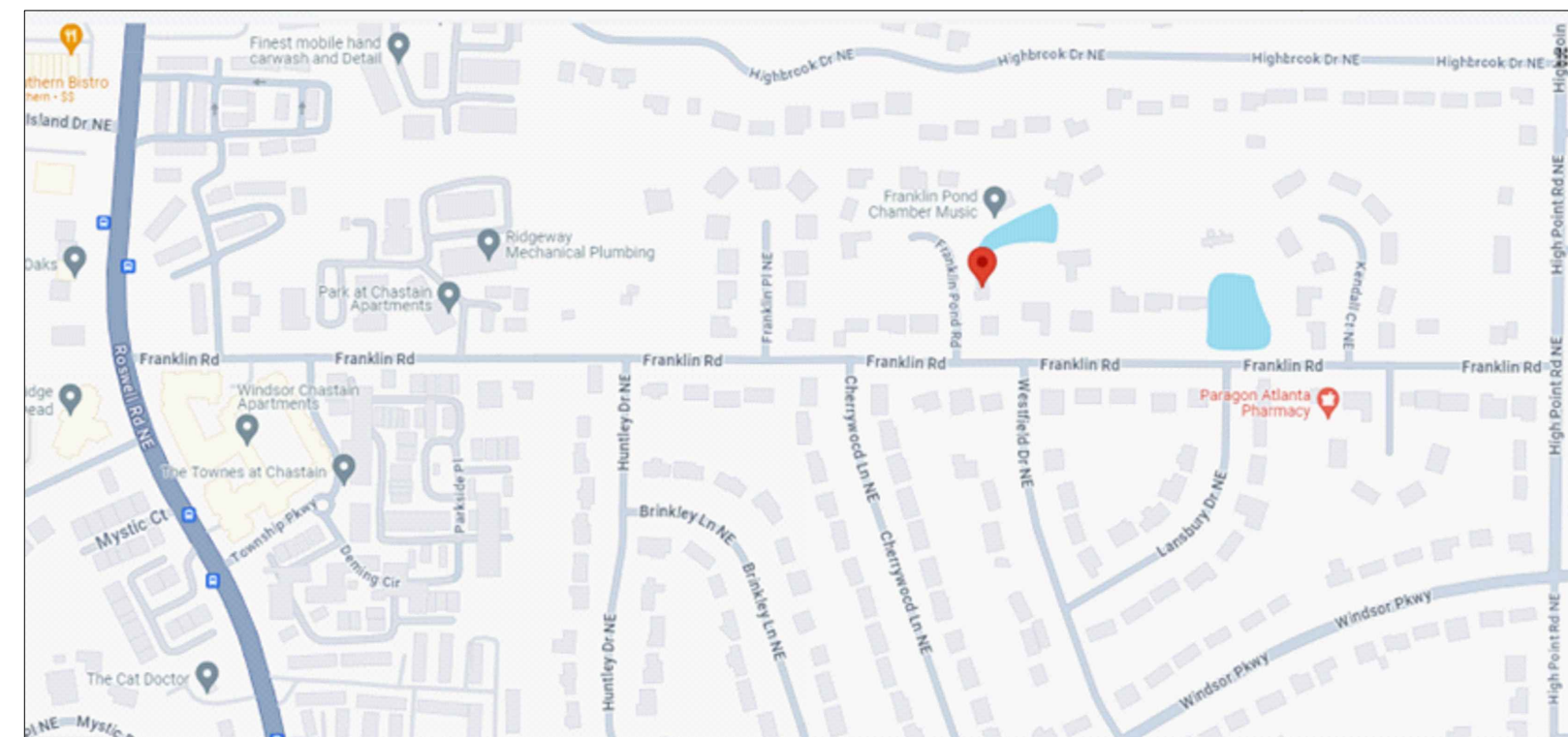
TOTAL LAND AREA
 18,418 SF / 0.423 AC

ELEVATIONS

PROPOSED RESIDENTIAL EXPANSION

FOR RAVI DURAIRAJ

4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA. 30342



VICINITY PLAN
NOT TO SCALE

PROJECT DIRECTORY

OWNER	RAVI DURAIRAJ 4825 FRANKLIN POND ROAD ATLANTA, GA 30342 CONTACT: RAVI DURAIRAJ 404-867-8545 rcochannel@hotmail.com
ARCHITECT	COLIN LICHTENSTEIN & ASSOCIATES ARCHITECTS 1150 LAKE HEARN DRIVE - SUITE 150 ATLANTA, GA 30342 CONTACT: COLIN LICHTENSTEIN 404-303-7008 colin@clarchitectsatlanta.com
CIVIL	EUGENE STEPANOV SURVEY LAND EXPRESS, INC. 24 LENOX POINT ATLANTA, GA 30324 CONTACT: EUGENE STEPANOV 404-375-2727 Eugene@surveylandexpress.com
CONTRACTOR	INFINITI ROOFING AND REMODELING, INC. 915 GOODWIN ROAD CANTON, GA 30114 CONTACT: DELIA LANGUREN (770)720-1160 dlanguren@infinitiroofingga.com

AFTER THE PERMIT IS ISSUED CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE ONLINE PORTAL TO SCHEDULE A BUILDING PRE-CONSTRUCTION MEETING WITH THE BUILDING INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.

SCOPE OF WORK

PROPOSED ADDITION AND RENOVATION OF AN EXISTING 2-STORY HOUSE WITH BASEMENT AND ATTIC FLOORS, WITH GROUND ACCESS FROM BASEMENT AND FIRST FLOOR. EXTERIOR FINISHES WILL BE STONE VENEER AND FIBER-CEMENT SIDING.

AREAS	EXISTING	NEW
Finished Basement	1,583 s.f.	1,583 s.f.
1st Floor	2,243 s.f.	2,421 s.f.
2nd Floor	1,507 s.f.	2,626 s.f.
Attic Floor	544 s.f.	544 s.f.
TOTAL HEATED (ENCLOSED)	5,877 s.f.	7,174 s.f.
Unfinished Basement	182 s.f.	182 s.f.
1st Floor Garage	501 s.f.	501 s.f.
1st Floor Sunroom	-	235 s.f.
Unfinished Attic Floor	415 s.f.	415 s.f.
TOTAL UNHEATED (ENCLOSED)	1,098 s.f.	1,333 s.f.
TOTAL AREA (ENCLOSED)	6,975 s.f.	8,507 s.f.
Crawlspace (Not Included in Total Area)	(478 s.f.)	(478 s.f.)
Basement Deck (Not Included in Total Area)	(1248 s.f.)	(292 s.f.)
Basement Patio (Not Included in Total Area)	-	(788 s.f.)
1st Floor Deck (Not Included in Total Area)	(534 s.f.)	(797 s.f.)
1st Floor Porch (Not Included in Total Area)	(65 s.f.)	(65 s.f.)
TOTAL OTHER AREAS	2,325 s.f.	2,420 s.f.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL BE FAMILIAR WITH SITE CONDITIONS PRIOR TO BID. CONDUCT SITE VISITS AS REQUIRED.
- ALL DIMENSIONS OF STUD PARTITIONS ARE TO UNFINISHED FACE. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES WITHIN THE DRAWINGS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS OF MASONRY ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
- SUBCONTRACTORS ARE TO FIELD VERIFY ALL DIMENSIONS OF WORK IN PLACE THAT RELATE TO COMPLETION OF THEIR WORK.
- THE GENERAL CONTRACTOR SHALL HOLD ALL LICENSES REQUIRED BY THE FULTON COUNTY.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING FOR AND OBTAINING ALL REQUIRED PERMITS. CONTRACTOR IS ALSO RESPONSIBLE FOR NOTIFYING OWNER OF ALL DEVELOPMENT FEES (TAP FEES, ETC.) AND TAXES RELATIVE TO THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO CONVEY TO THE ARCHITECT ANY CONDITIONS REVEALED DURING SITE DEVELOPMENT AND CONSTRUCTION WHICH CONFLICT W/ WORK TO BE EXECUTED PER THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE TELEPHONE JACK LOCATIONS WITH THE OWNER AND INSTALL CONDUIT AS REQUIRED BY THE TELEPHONE COMPANY.
- THE CONTRACTOR SHALL COORDINATE WITH EXISTING SYSTEMS AND DESIGN BUILD ALL NEW ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS FOR THE ACHIEVEMENT OF COMPLETE OPERATIONS.
- CONTRACTOR SHALL PROVIDE ONE (1) YEAR WARRANTY ON ALL MATERIALS AND INSTALLATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SECURE AND SAFE CONSTRUCTION SITE.
- G.C. TO CONTRACT W/QUALIFIED INSTALLERS WHICH HAVE MINIMUM (3) YEARS BUSINESS EXPERIENCE FOR ALL INSTALLATION.
- CONTRACTORS SHALL MEET ALL LOCAL, STATE AND COUNTY CODES & ORDINANCES. CONTRACTORS SHALL MEET ALL A.D.A. REQUIREMENTS INCLUDING, SIGNAGE, FIRE NOTIFICATION SYST., DOOR HARDWARE, TACTILE WARNING TEXTURES, RAILINGS, PLUMBING FIXTURES AND FAUCETS, TOILET ACCESSORIES AND MOUNTING HTS., ETC.
- CONTRACTOR SHALL PROVIDE ONE (1) YEAR WARRANTY ON ALL MATERIALS AND INSTALLATIONS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL WORK DESCRIBED ON THESE DRAWINGS AND PROVIDE FULL TIME FIELD SUPERVISION, PHONE/FAX, AND CONSTRUCTION OFFICE.
- COLIN LICHTENSTEIN & ASSOC. ARCHITECTS SHALL NOT BE RESPONSIBLE AND SHALL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL VERIFY THE RESPONSIBILITIES OF THE PROJECT OWNER IN RESPECT OF THE EXTENT AND TYPE OF WORK REQUIRED FOR THE RESIDENCE. THE GENERAL CONTRACTOR SHALL NOTIFY COLIN LICHTENSTEIN & ASSOC. OF ANY DISCREPANCIES BETWEEN THE PROJECT OWNER'S RESPONSIBILITIES AND THOSE INDICATED ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL ALSO COORDINATE THE INSTALLATION OF THE OWNER'S WORK WITH THE PROJECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT NECESSARY TO COMPLY WITH OWNER REQUIREMENTS FOR NOISE, DUST, AND POLLUTION CONTROL AND FOR PROTECTION OF EXISTING CONDITIONS AND FINISHES IF ANY.
- THE INTERIOR DESIGNER OR ARCHITECT DOES NOT WARRANT AND IS NOT RESPONSIBLE FOR THE QUALITY OF MATERIALS OR ARTICLES PURCHASED OR INSTALLED UPON THE PROJECT OR FOR THE STRUCTURAL CONDITIONS OF THE PROJECT OR FOR THE ACTS, WORKS, OR FOR SERVICES OF ANY EMPLOYEES, AGENT, SERVANT OR CONTRACTOR OF THE OWNER.
- THE INTERIOR DESIGNER OR ARCHITECT HAS CHOSEN MATERIALS FOR USE ON THIS PROJECT AS SPECIFIED. UPON AWARD OF THIS PROJECT, THE SPECIFIED MATERIALS SHALL BE ORDERED IMMEDIATELY AND ALL DELIVERIES CONFIRMED.
- CONTRACTOR SHALL CAULK/SEAL ALL WOOD CASEWORK TRIM, COUNTERTOPS, CABINETS/MILLWORK, AND GLAZING INCLUDING ALL JUNCTURES TO ADJACENT DISSIMILAR MATERIALS OR SURFACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEQUENCING ALL WIRING PRIOR TO FULL GYP-BD CLOSURE. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THIRD PARTIES RESPONSIBLE FOR WIRING OUTSIDE OF THIS CONTRACT, INCLUDING BUT NOT LIMITED TO TELEPHONE, AUDIO SYSTEM, SECURITY. COORDINATE SUCH WORK WITH OWNER.
- COLOR SELECTION OF ALL PAINT, V.W.C., TILE, LAMINANT, SEALANTS, PREFIN. MTLs. AND ELEC. WALL PLATES BY OWNER.
- COORDINATE THERMOSTAT LOCATIONS WITH OWNER.
- CONTRACTOR TO: PROVIDE 2 COATS CLEAR SATIN POLYURETHANE ON ALL WOOD / PLYWOOD SURFACES. PROVIDE 2 COATS CLEAR SEAL ON ALL GROUT SURFACES. PROVIDE 2 COATS CLEAR SEAL ON ALL CONCRETE FLOOR SURFACES
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING PROFESSIONAL ENGINEER FOR TRUSS DESIGN; WHO SHALL PROVIDE STAMPED CONSTRUCTION DRAWINGS SPECIFYING STRUCTURAL TRUSS DESIGN.

RESIDENTIAL BUILDING CODES

NOTE: All construction described in these plans shall be constructed in compliance with Codes and Standards adopted by the state of Georgia and used for the design of the building and occupancy

NFPA 101 2018 ED LIFE SAFETY CODE, with GA Amendments (2020)
International Residential Code (IRC), 2018 Edition with GA Amendments (2020)
International Building Code (IBC), 2018 Edition with 2020, GA Amendments.
International Fire Code (IFC), 2018 Edition with (Contact State Fire Marshal).
International Plumbing Code (IPC), 2018 Edition with 2020, GA Amendments.
International Mechanical Code (IMC), 2018 Edition with 2020, GA Amendments.
National Electrical Code (NEC), 2020 Edition with (No GA Amendments).
International Fuel Gas Code (IFGC), 2018 Edition with 2020, GA Amendments.
International Energy Conservation Code (IECC), 2015 Edition with 2020 GA Supplement and Amendments
International Swimming Pool and Spa Code, 2018 Edition with 2020 GA Amendments
Georgia Accessibility Code 120-3-20, 2012 Edition
Accessibility: 2010 ADA Standards

PROJECT INFO - CODE SUMMARY

JURISDICTION: FULTON COUNTY
CITY OF SANDY SPRINGS
ZONING: RD-18 (RESIDENTIAL DETACHED)
TOTAL SITE AREA: 18418.08 S.F./ 0.423 AC
BUILDING SET BACKS: 50' Min. FRONT - PRIMARY STREET
10' Min. SIDE - COMMON LINE
35' Min. REAR - COMMON LOT LINE
MAX. LOT COVERAGE= 6446.33 S.F./ 0.148 AC/ 35%
EXISTING LOT COVERAGE = 6226.29 S.F./ 0.143 AC/ 33.81%
MAX BUILDING HEIGHT = 3 STORIES/ 40 FT MAX (PRINCIPAL DWELLING)

LIST OF DRAWINGS

GENERAL DRAWINGS

△ C-0 COVER SHEET

CIVIL DRAWINGS

C-1.0 COVER SHEET & NOTES
C-2.0 EXISTING CONDITIONS
C-3.0 PROPOSED SITE PLAN
C-4.0 IMPERVIOUS AREA DETAILS
C-5.0 STORMWATER BMP DETAILS
C-6.0 STORMWATER MAINTENANCE
C-7.0 TREE PLAN
C-8.0 EROSION BMP DETAILS
C-9.0 STANDARD DETAILS

ARCHITECTURAL DRAWINGS

△ A-1 SITE PLAN
A-2 EXIST/DEMO BASEMENT PLAN
A-2.1 EXIST/DEMO 1ST FLR PLAN
A-2.2 EXIST/DEMO 2ND FLR PLAN
A-2.3 EXIST/DEMO ATTIC PLAN
A-2.4 EXIST/DEMO ROOF PLAN
A-3 PROPOSED BASEMENT PLAN
△ A-3.1 PROPOSED FIRST FLOOR PLAN
△ A-3.1A PROPOSED SECOND FLOOR PLAN
△ A-3.2A PROPOSED SECOND FLOOR FURNITURE PLAN
△ A-3.3 PROPOSED ATTIC PLAN
△ A-3.4 PROPOSED ROOF PLAN
A-4.0 EXIST/DEMO ELEVATIONS
A-4.1 EXIST/DEMO ELEVATIONS
A-5.0 PROPOSED ELEVATIONS- RENDERED
A-5.1 PROPOSED ELEVATIONS- RENDERED
A-5.2 PROPOSED ELEVATIONS- DIMENSIONS
A-5.3 PROPOSED ELEVATIONS- DIMENSIONS
△ A-6.0 PROPOSED CEILING PLAN
△ A-6.1 PROPOSED CEILING PLAN
△ A-7.0 PROPOSED FIRST FLOOR POWER PLAN
△ A-7.1 PROPOSED SECOND FLOOR POWER PLAN
△ A-8.0 BUILDING SECTION
△ A-8.1 BUILDING SECTION
A-9.0 STAIR SECTION
A-9.1 DORMER/ATTIC SECTION
△ A-10 DOOR SCHEDULE
A-11 WINDOW SCHEDULE

NOTES:

- "AFTER THE PERMIT IS ISSUED CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE ONLINE PORTAL TO SCHEDULE A BUILDING AND SITE PRE-CONSTRUCTION MEETING WITH THE INSPECTORS PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION." IRC SECTIONS R109.3 AND R109.4.
- "A FOUNDATION FORMS SURVEY IS REQUIRED, SEALED BY A STATE OF GEORGIA REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR, VERIFYING THAT THE OUTER EDGE OF THE FOUNDATION IS WITHIN THE SETBACKS SHOWN ON THE PERMITTED SITE PLAN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE SURVEYOR TO CONDUCT THE REQUIRED SURVEY ON THE FOUNDATION DURING CONSTRUCTION, PRIOR TO PLACEMENT OF ANY CONCRETE."
- "IF PROPERTY IS LOCATED IN A FLOOD ZONE AS DETERMINED BY FEMA, A CERTIFICATE OF ELEVATION WILL BE REQUIRED. PLAN MUST STATE EXISTING AND MINIMUM PROPOSED FINISHED FLOOR ELEVATIONS FOR THE MAIN FLOOR, BASEMENT, AND GARAGE. ELEVATIONS MUST BE AT LEAST 3 FEET ABOVE THE 100-YEAR ELEVATION. THE HOUSE MUST BE AT LEAST 10 FEET (HORIZONTALLY) AWAY FROM THE 100-YEAR LIMIT."
- "HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE."
- "HOLD-DOWNS MUST BE PROVIDED ON EITHER SIDE OF ALL LARGE OPENINGS GREATER THAN 6 FEET IN WIDTH (AT THE NARROW BRACED WALL PANELS). AT SUCH OPENINGS WE REQUIRE SIMPSON HTTS (OR EQUIVALENT) HOLD DOWNS AT THE FLOOR PLATE AND STRAPS AT THE TOP."
- "EACH ROOF RAFTER SHALL BE TIED DOWN TO BOTH DOUBLE TOP PLATES WITH STRAPS OF SUFFICIENT LENGTH TO SPAN FROM THE ROOF RAFTER, ACROSS THE BAND AT THE CEILING JOISTS, AND EXTENDING -- AT A MINIMUM -- TO THE BOTTOM OF THE LOWER PLATE."
- "SANDY SPRING FOUNDATION ANCHORAGE REQUIREMENT: PLATE WASHERS THAT ARE A MINIMUM OF 0.229"x3"x3" SHALL BE PROVIDED FOR ALL ANCHOR BOLTS, BETWEEN THE SILL PLATE AND THE NUT."

EXTERIOR HVAC SCREENING ORDINANCE REQUIREMENTS

- SECTION 8.2.9.B.4.
a. "GROUND-MOUNTED EQUIPMENT SCREENING MUST BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED"
b. SCREENING MUST CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.
SECTION 6.1.2.B.3.a.
a. IN PROTECTED NEIGHBORHOODS, MECHANICAL EQUIPMENT SUCH AS HVAC AND GENERATORS MAY NOT ENCRUSH INTO ANY REQUIRED SETBACK.
b. EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 DEGREES FAHRENHEIT AT 3' ABOVE THE FLOOR -R303.10

NEW KITCHEN HOODS

MAKE-UP AIR IS REQUIRED IF THE HOOD IS CAPABLE OF EXHAUSTING MORE THAN 400 CFMS. SEE M1503.6 OF THE INTERNATIONAL RESIDENTIAL CODE.

colin lichtenstein and associates

1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
PRINT 06/10/25	1
PRINT xx/xx/xx	2

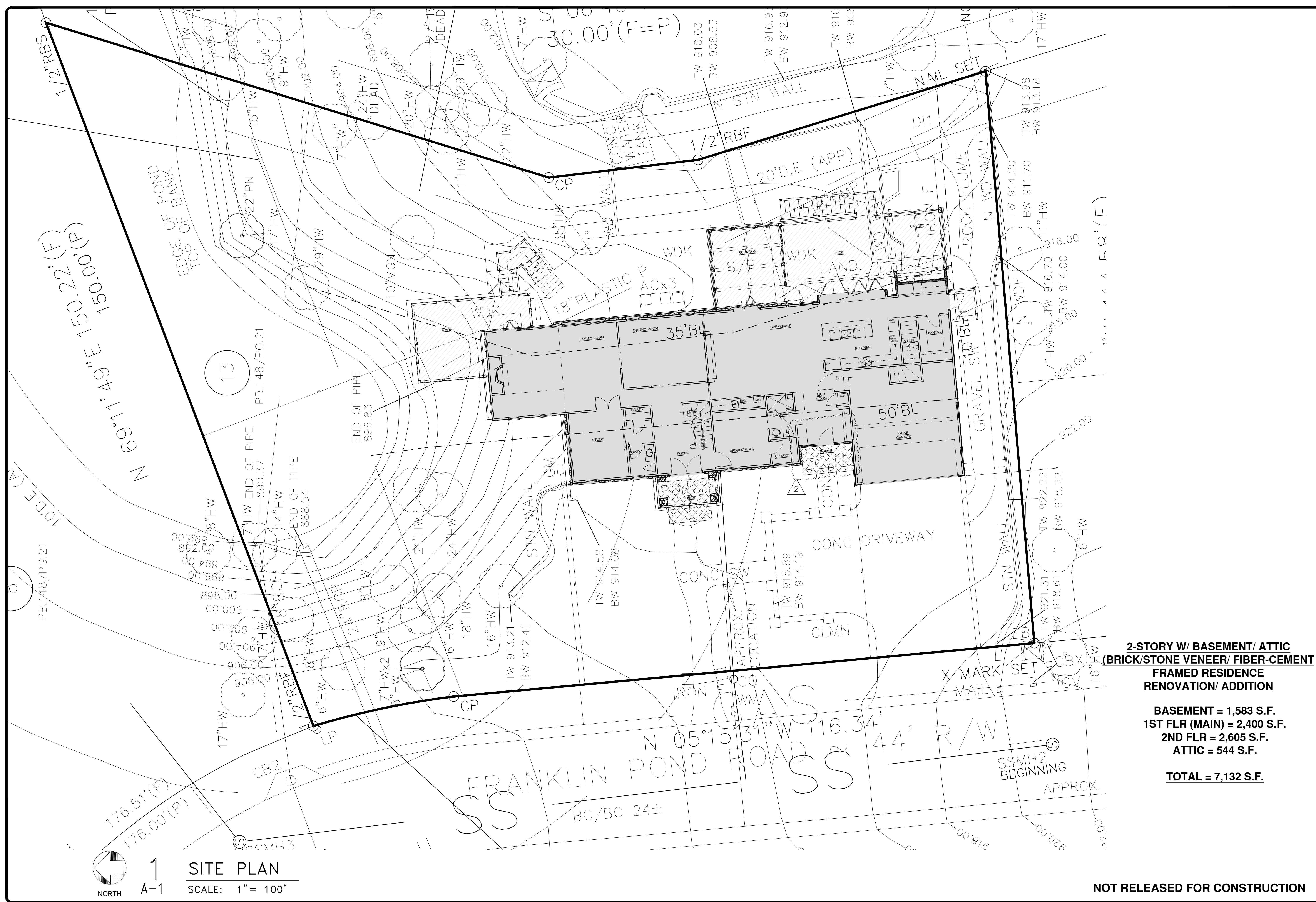
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

COVER SHEET

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET C-0
OF SHEETS

NOT RELEASED FOR CONSTRUCTION



**2-STORY W/ BASEMENT/ ATTIC
(BRICK/STONE VENEER/ FIBER-CEMENT
FRAMED RESIDENCE
RENOVATION/ ADDITION**

**BASEMENT = 1,583 S.F.
1ST FLR (MAIN) = 2,400 S.F.
2ND FLR = 2,605 S.F.
ATTIC = 544 S.F.**

TOTAL = 7,132 S.F.

1 SITE PLAN
SCALE: 1" = 100'

NOT RELEASED FOR CONSTRUCTION

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1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
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PRINT xx/xx/xx	2

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BID SET 09/19/24	
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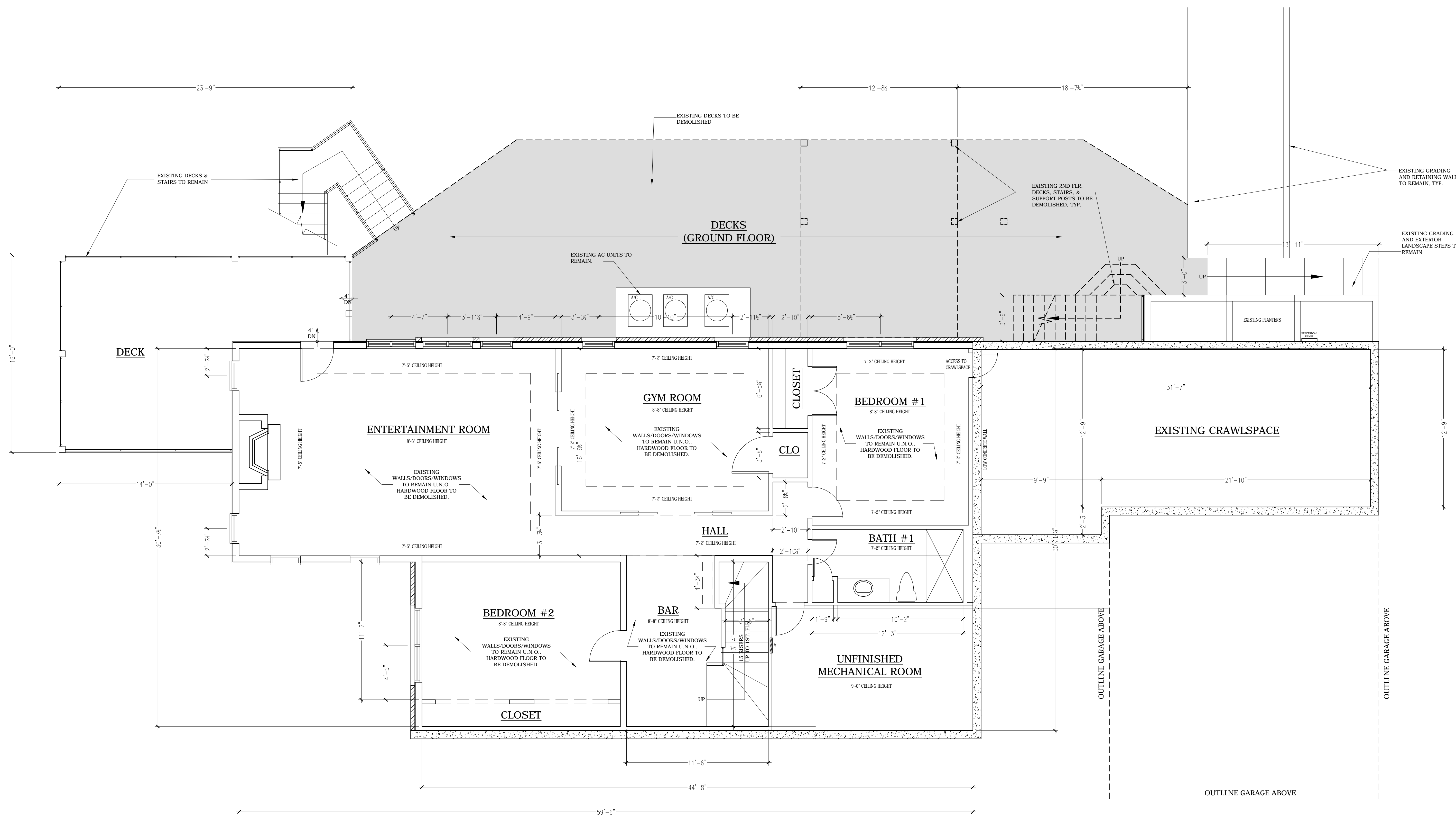
**PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ**
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

SITE PLAN
(SURVEY- SEE CIVIL DWGS)

DRAWN
XXXX
CHECKED
DATE
06/2024
SCALE
N/A
JOB NO.
00000
SHEET

A-1.0

OF SHEETS



1 EXISTING/DEMO BASEMENT PLAN
 A-2.0 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

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1150 LAKE HEARN DRIVE - SUITE 150
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BID-PERMIT(R2) xx/xx/xx	2

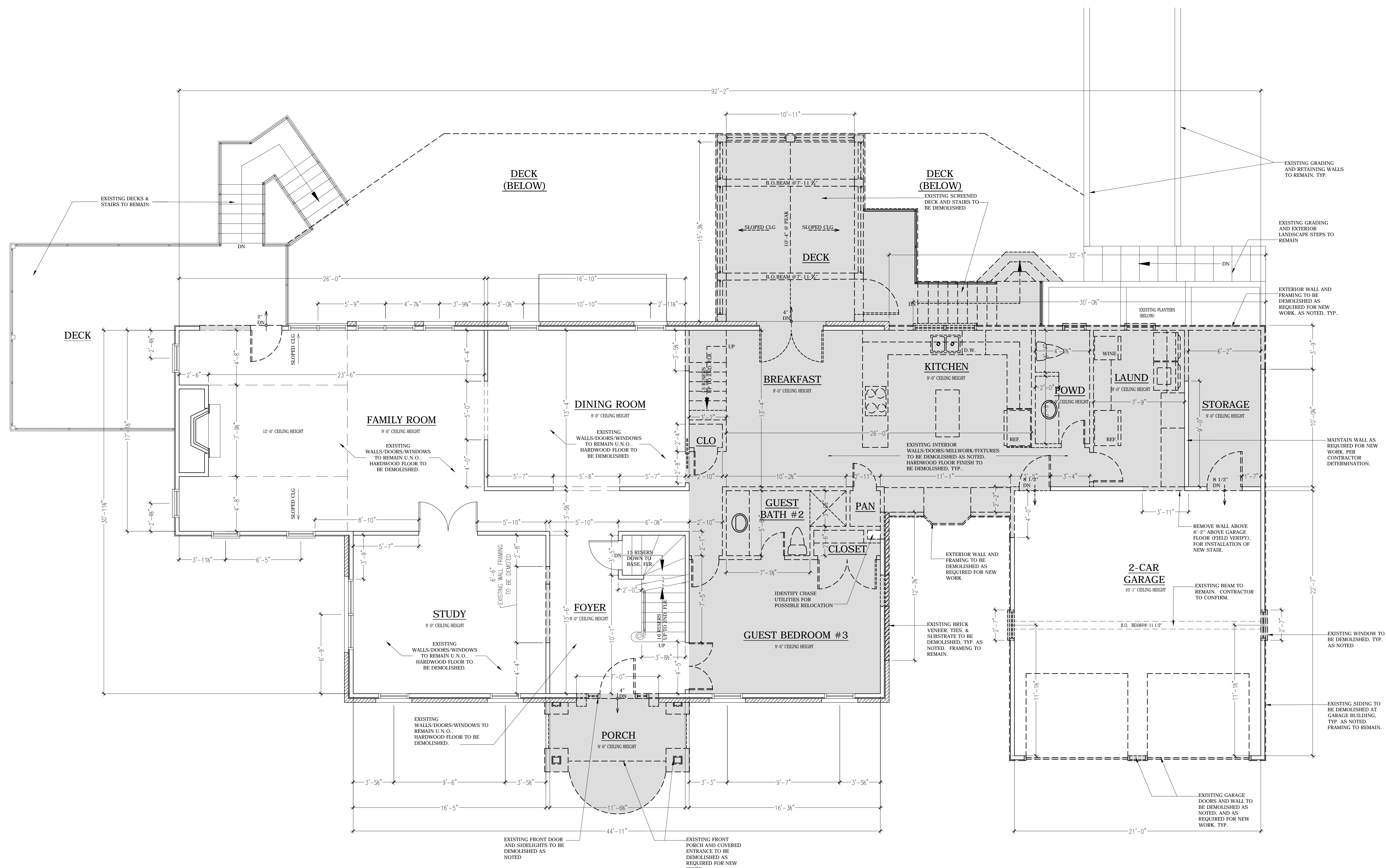
PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO
 BASEMENT
 FLOOR
 PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-2.0

OF SHEETS



1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

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REVISIONS	BY
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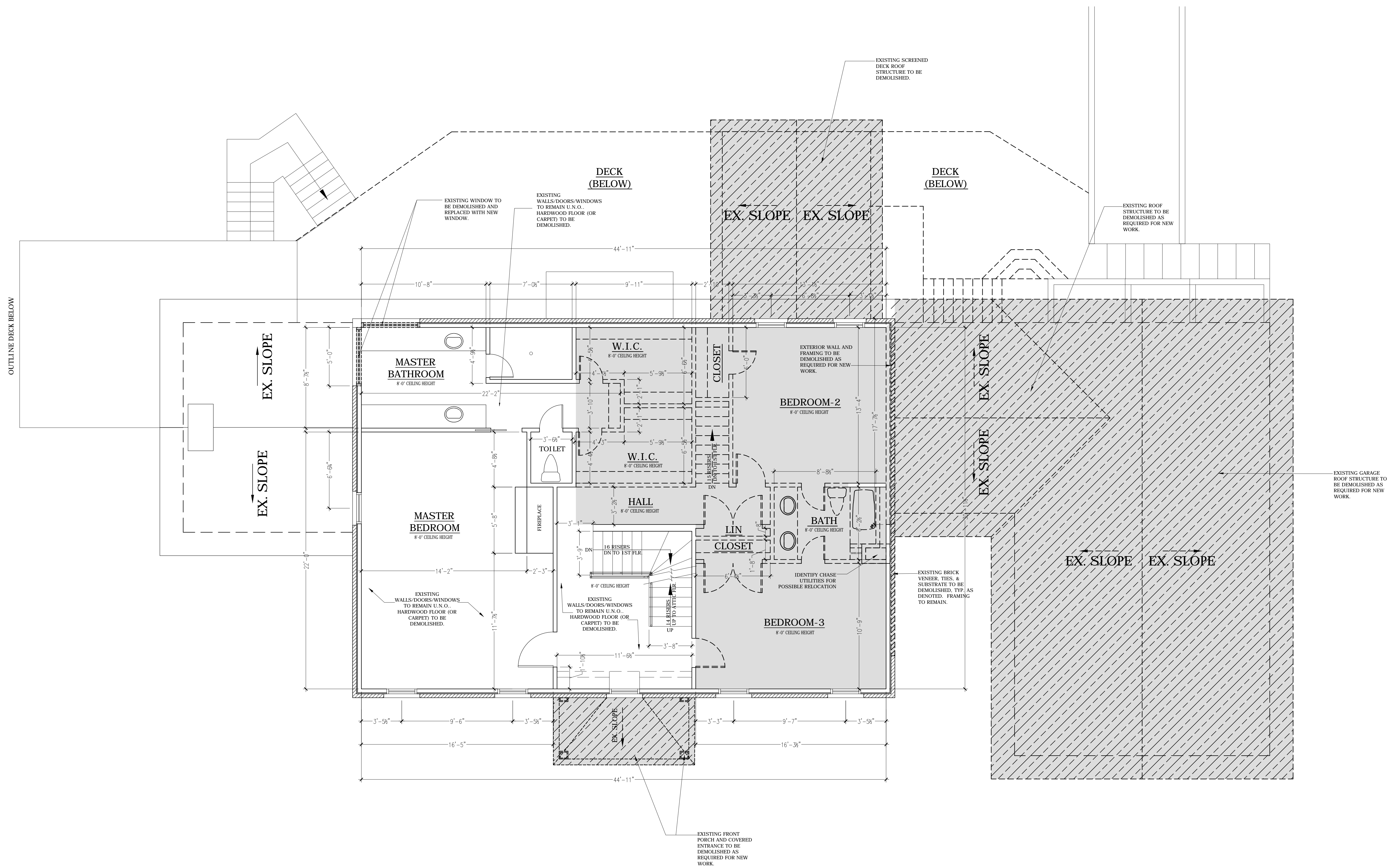
**PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342**

EXISTING/DEMO
FIRST FLOOR
PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET
A-2.1

1 EXISTING/DEMO FIRST FLOOR PLAN
A-2.1 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION



1 EXISTING/DEMO SECOND FLOOR PLAN
 A-2.2 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

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1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
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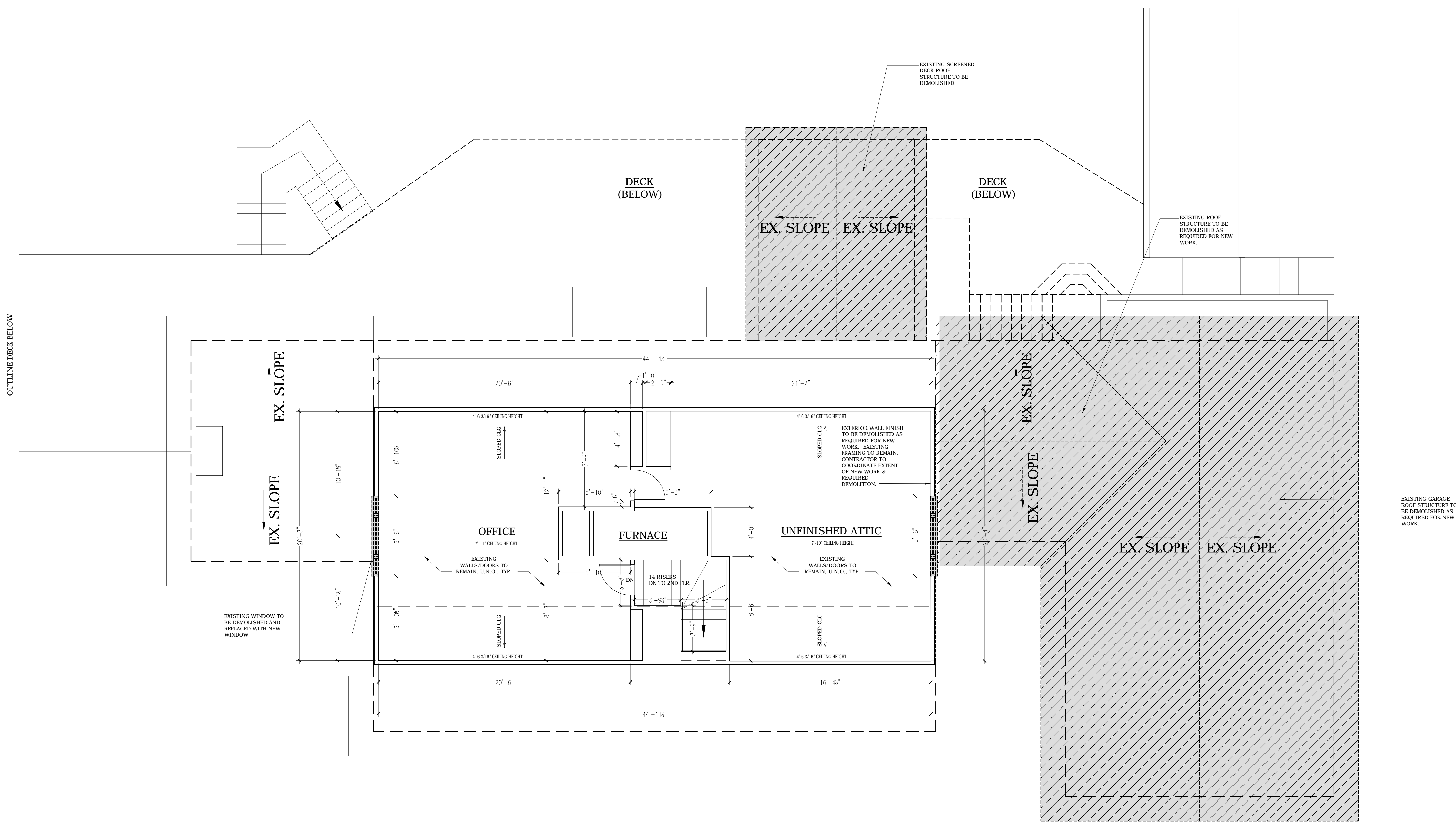
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO
 SECOND FLOOR
 PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET A-2.2

OF SHEETS



1 EXISTING/DEMO ATTIC FLOOR PLAN
 A-2.3 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

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1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

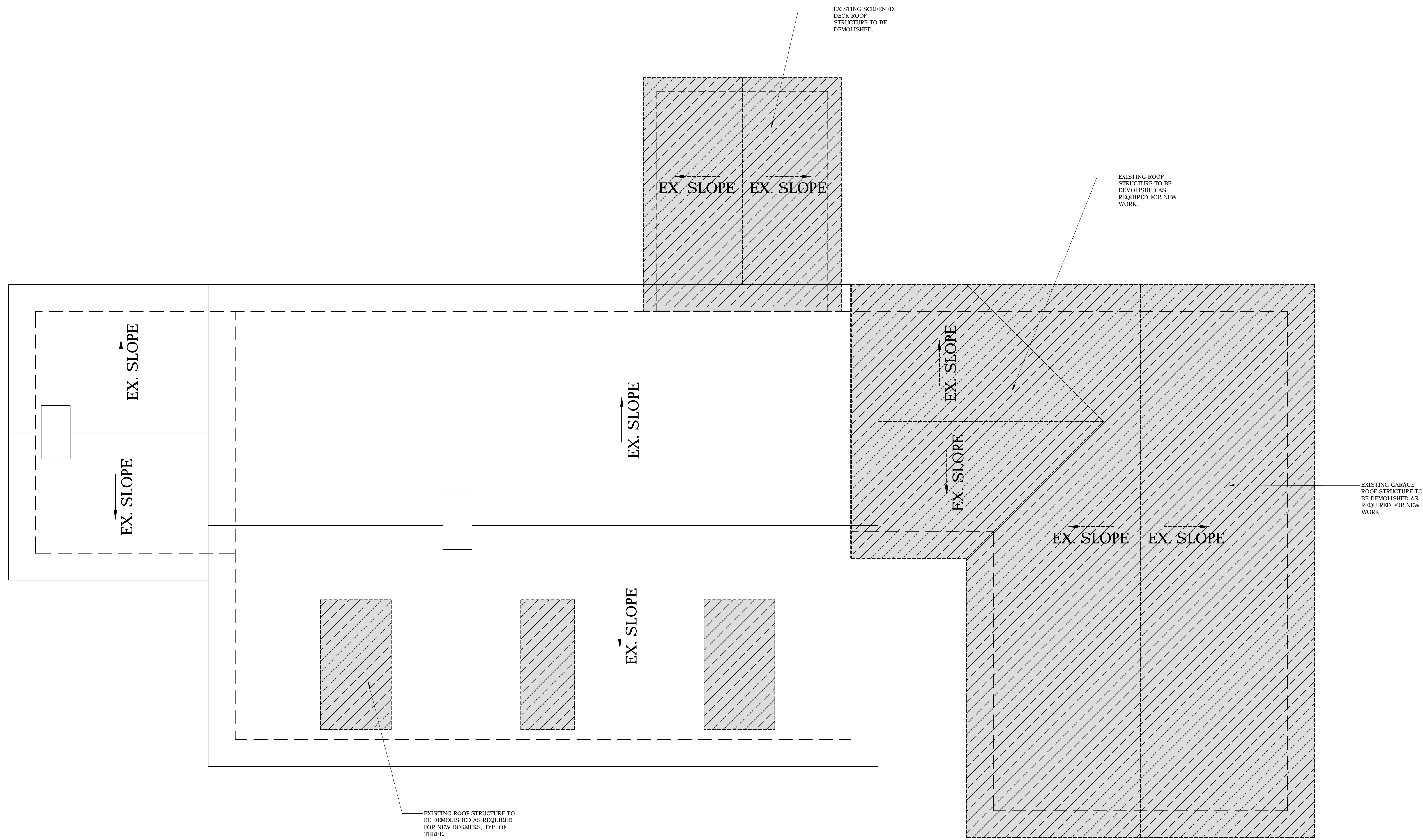
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO
 ATTIC FLOOR
 PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET
A-2.3
OF SHEETS



1 EXISTING/DEMO ROOF PLAN
 A-2.4 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

colin lichtenstein and associates

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

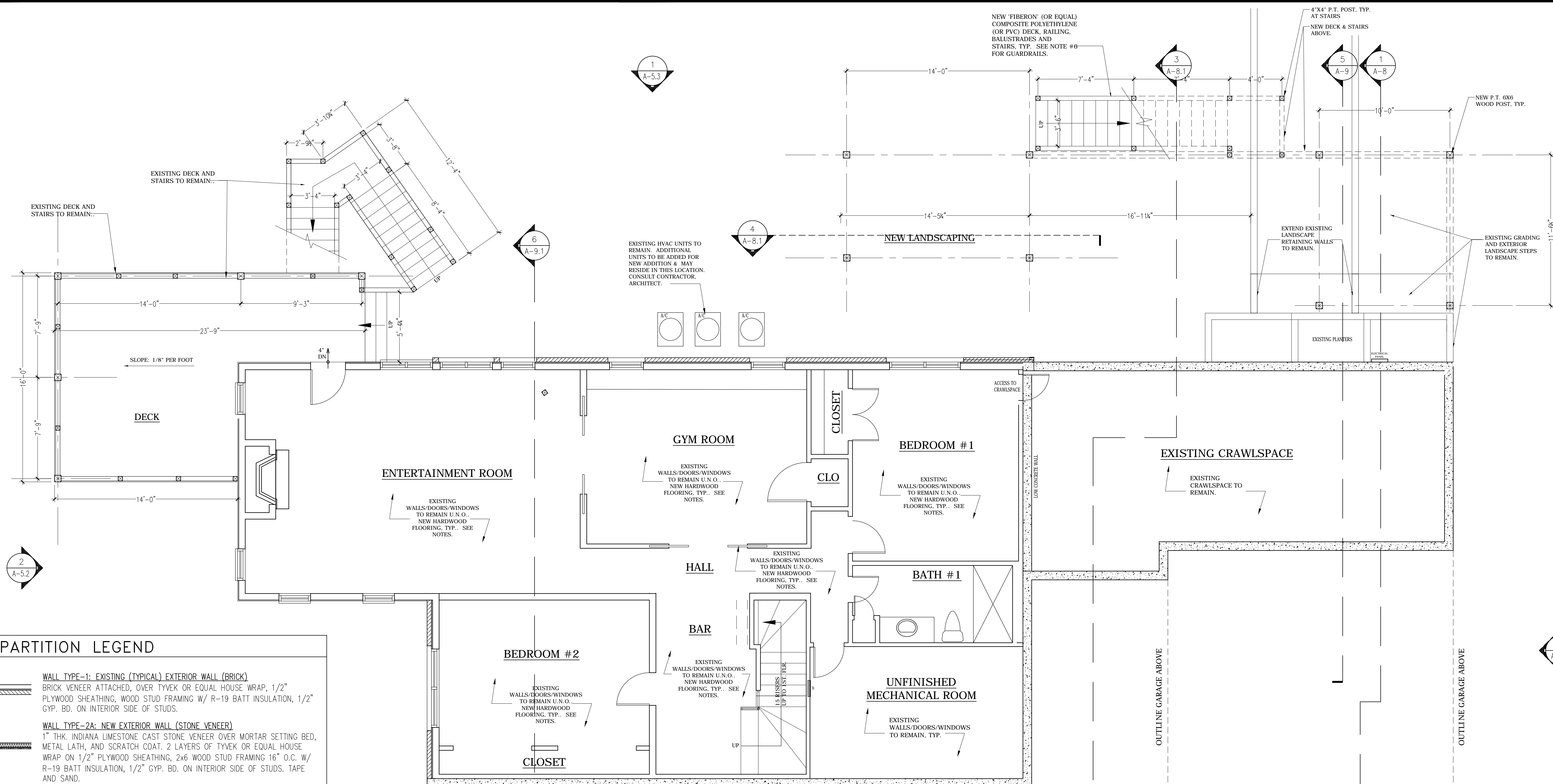
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PRELIM BID 08/28/24	
BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO
 ROOF PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET
A-2.4
OF SHEETS



PARTITION LEGEND

WALL TYPE-1: EXISTING (TYPICAL) EXTERIOR WALL (BRICK)
 BRICK VENEER ATTACHED, OVER TYVEK OR EQUAL HOUSE WRAP, 1/2" PLYWOOD SHEATHING, WOOD STUD FRAMING W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS.

WALL TYPE-2A: NEW EXTERIOR WALL (STONE VENEER)
 1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.

WALL TYPE-2B: EXISTING EXTERIOR WALL (WITH NEW STONE VENEER)
 1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON EXISTING 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.

WALL TYPE-3A: NEW EXTERIOR WALL (FIBER CEMENT PANEL SIDING)
 JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON NEW 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.

WALL TYPE-3B: EXISTING EXTERIOR WALL (FIBER CEMENT PANEL SIDING)
 JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON EXISTING WOOD FRAMING.

EXISTING PARTITION WALL (INTERIOR)
 2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES.

NEW PARTITION WALL (INTERIOR)
 2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES. TAPE AND SAND.

NOTE:
 ALL INTERIOR DIMENSIONS ARE TO OF WOOD STUDS, U.N.O.
 ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE, U.N.O.

1
A-3.0 **PROPOSED BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"

- NOTES:**
- HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. WHERE EXTERIOR WALLS FROM TWO SUCCESSIVE LEVELS OF THE HOUSE ALIGN, SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
 - MAKE UP AIR IS REQUIRED IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING MORE THAN 400 CFMS. SEE M 1503.6 OF THE INTERNATIONAL RESIDENTIAL CODE.
 - ALL BALCONIES AND TERRACES FINISHED FLOORS TO BE AT LEAST 1/4" STEPPED DOWN FROM HOUSE FINISHED FLOOR.
 - FOR CHILD SAFETY, THE BALUSTERS OR OTHER DECORATIVE INFILL MUST BE SPACED LESS THAN 4 INCHES APART (A 4-INCH-DIAMETER BALL SHOULD NOT PASS BETWEEN THE BALUSTERS).
 - HANDRAIL AT INTERIOR STAIR SHALL COMPLY WITH GA. RESIDENTIAL CODE, SECT. R311.7.8 FOR HANDRAILS. HANDRAIL SHALL BE 34"-38" ABOVE RISER NOSINGS. HANDRAIL WILL BE 1 1/2" DIA. AND SPACED 1 1/2" (MAX.) FROM WALL.
 - GUARDRAIL AT EXTERIOR DECKS AND STAIRS SHALL MEET REQUIREMENTS OF GA. RESIDENTIAL CODE, SECT. R312.1.2 FOR GUARDS. GUARDRAILS FOR DECKS AND EXTERIOR STAIR HANDRAILS/GUARDRAILS SHALL BE MAX. 36" ABOVE WALKING SURFACE AND STAIR RISER NOSINGS.
 - ALL EXISTING HARDWOOD FLOORING SHALL BE DEMOLISHED AND SUBSTRATE PREPARED TO RECEIVE NEW HARDWOOD FLOORING.
 - EXISTING HVAC SYSTEM SHALL BE RECONFIGURED TO SERVICE BASEMENT LEVEL ONLY. NEW HVAC SYSTEM WILL TO BE DESIGNED/INSTALLED BY HVAC CONTRACTOR.

REVISIONS	BY
PRINT 06/10/25	1
PRINT xx/xx/xx	2

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PRELIM BID 08/28/24	SET
BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

PROPOSED BASEMENT FLOOR PLAN

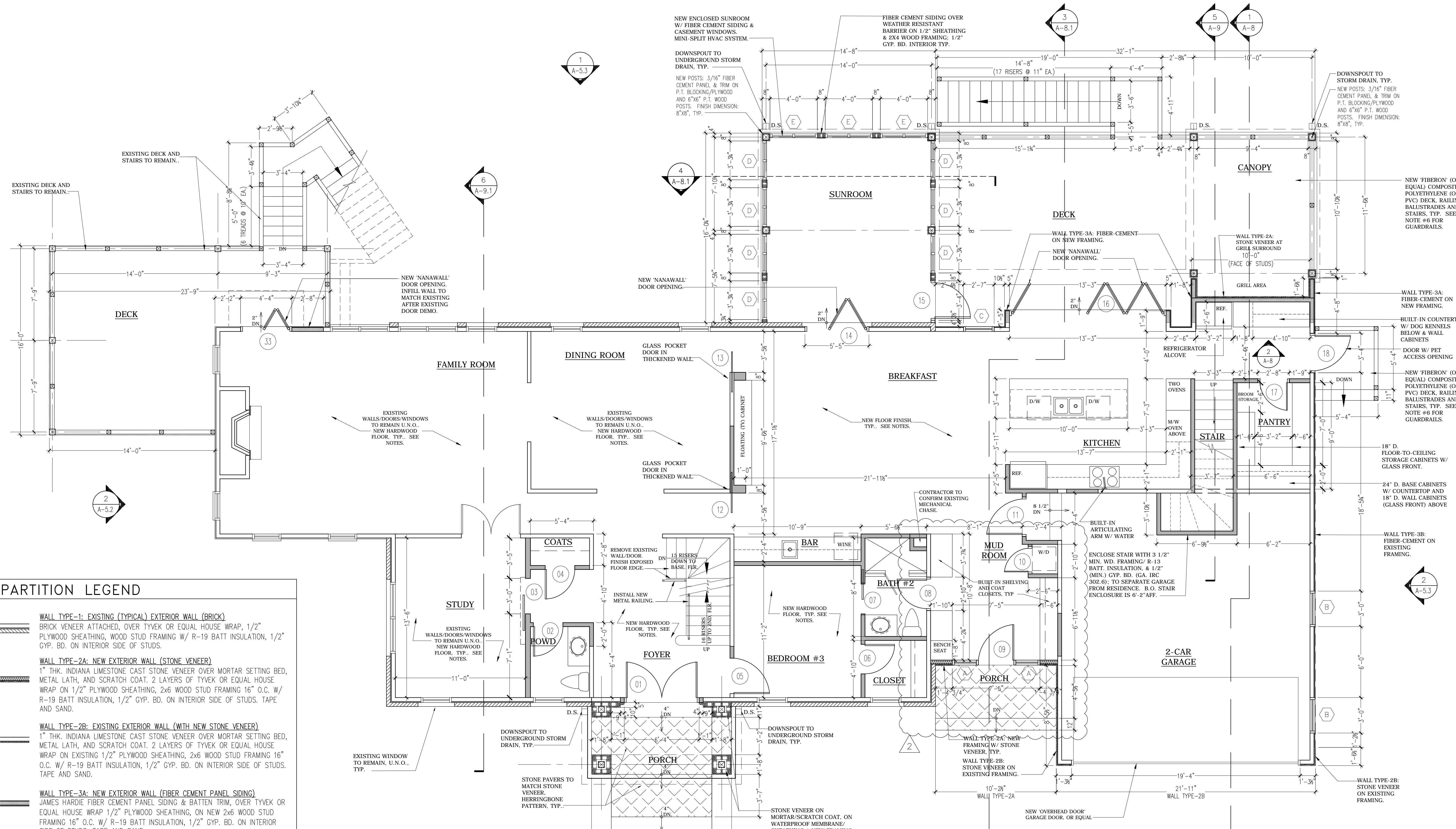
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CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-3.0

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

colin lichtenstein and associates

NOT RELEASED FOR CONSTRUCTION



PARTITION LEGEND

- WALL TYPE-1: EXISTING (TYPICAL) EXTERIOR WALL (BRICK)**
BRICK VENEER ATTACHED, OVER TYVEK OR EQUAL HOUSE WRAP, 1/2" PLYWOOD SHEATHING, WOOD STUD FRAMING W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS.
- WALL TYPE-2A: NEW EXTERIOR WALL (STONE VENEER)**
1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-2B: EXISTING EXTERIOR WALL (WITH NEW STONE VENEER)**
1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON EXISTING 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3A: NEW EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON NEW 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3B: EXISTING EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON EXISTING WOOD FRAMING.
- EXISTING PARTITION WALL (INTERIOR)**
2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES.
- NEW PARTITION WALL (INTERIOR)**
2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES. TAPE AND SAND.

NOTE:
ALL INTERIOR DIMENSIONS ARE TO OF WOOD STUDS, U.N.O.
ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE, U.N.O.

1 PROPOSED FIRST FLOOR PLAN

A-3.1 SCALE: 1/4" = 1'-0"

- NOTES:**
- 1) HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. WHERE EXTERIOR WALLS FROM TWO SUCCESSIVE LEVELS OF THE HOUSE ALIGN, SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
 - 2) MAKE UP AIR IS REQUIRED IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING MORE THAN 400 CMFS. SEE M 1503.6 OF THE INTERNATIONAL RESIDENTIAL CODE.
 - 3) ALL BALCONIES AND TERRACES FINISHED FLOORS TO BE AT LEAST 1.5" STEPPED DOWN FROM HOUSE FINISHED FLOOR.
 - 4) FOR CHILD SAFETY, THE BALUSTERS OR OTHER DECORATIVE INFILL MUST BE SPACED LESS THAN 4 INCHES APART (A 4-INCH-DIAMETER BALL SHOULD NOT PASS BETWEEN THE BALUSTERS).
 - 5) HANDRAIL AT INTERIOR STAIR SHALL COMPLY WITH GA. RESIDENTIAL CODE, SECT. R311.7.8 FOR HANDRAILS. HANDRAIL SHALL BE 34"-38" ABOVE RISER NOSINGS. HANDRAIL WILL BE 1 1/2" DIA. AND SPACED 1 1/2" (MAX.) FROM WALL.
 - 6) GUARDRAIL AT EXTERIOR DECKS AND STAIRS SHALL MEET REQUIREMENTS OF GA. RESIDENTIAL CODE, SECT. R312.1.2 FOR GUARDS. GUARDRAILS FOR DECKS AND EXTERIOR STAIR HANDRAILS/GUARDRAILS SHALL BE MAX. 36" ABOVE WALKING SURFACE AND STAIR RISER NOSINGS.
 - 7) ALL EXISTING HARDWOOD FLOORING SHALL BE DEMOLISHED AND SUBSTRATE PREPARED TO RECEIVE NEW HARDWOOD FLOORING.
 - 8) EXISTING HVAC SYSTEM SHALL BE RECONFIGURED TO SERVICE BASEMENT LEVEL ONLY. NEW HVAC SYSTEM WILL TO BE DESIGNED/INSTALLED BY HVAC CONTRACTOR.

NOT RELEASED FOR CONSTRUCTION

coin lichtenstein and associates

1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
PRINT 06/10/25	1
PRINT xx/xx/xx	2

PRINTED	PRELIM BID SET	SET
08/28/24		
BID SET 09/19/24		
BID-PERMIT(R1) 06/10/25		1
BID-PERMIT(R2) xx/xx/xx		2

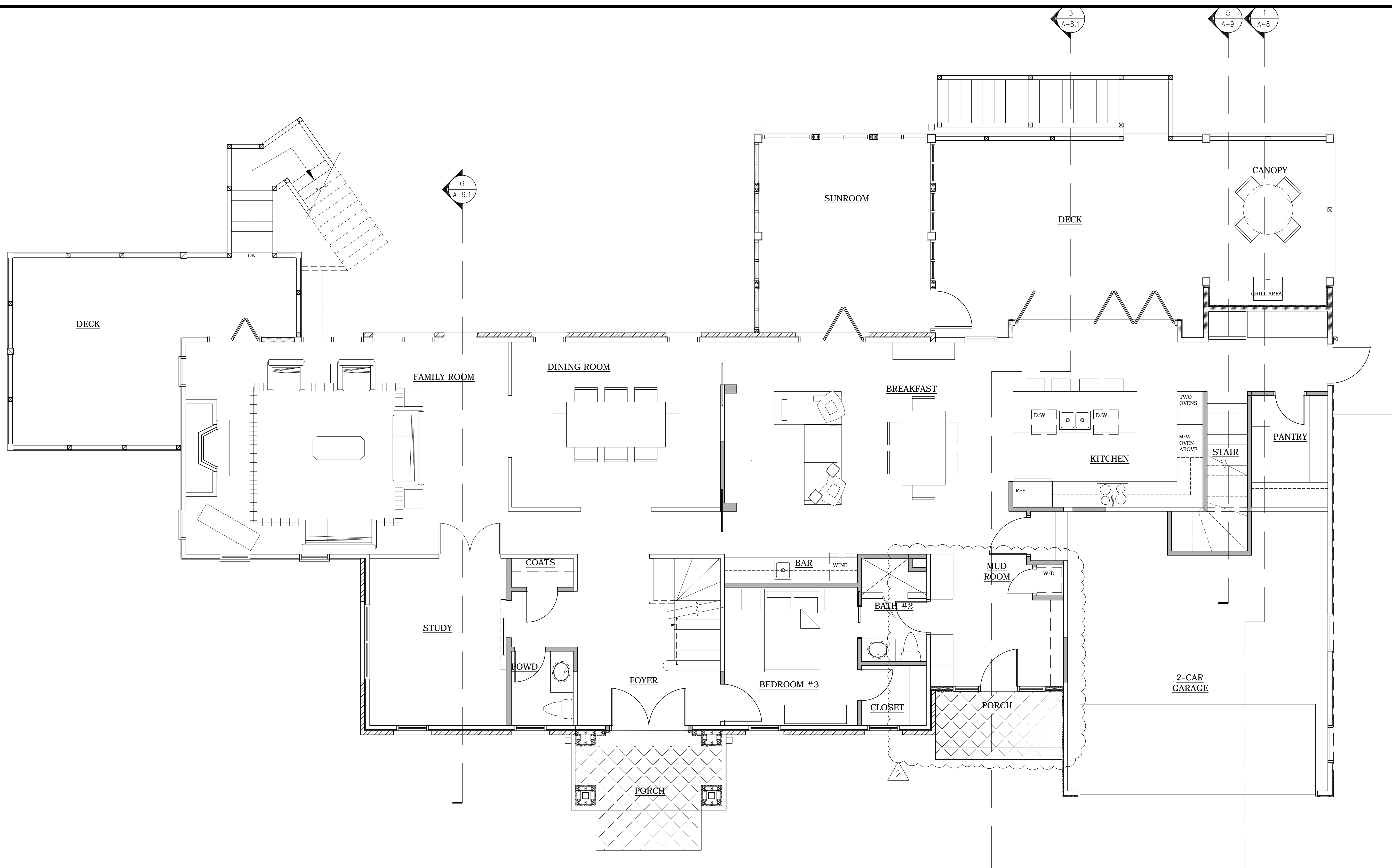
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

PROPOSED FIRST FLOOR PLAN

DRAWN	XXXX
CHECKED	
DATE	06/2024
SCALE	N/A
JOB NO.	00000
SHEET	

A-3.1

OF SHEETS



1 FIRST FLOOR FURNITURE PLAN
 A-3.1a SCALE: 1/4" = 1'-0"

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1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
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PRELIM BID 08/28/24	SET
BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

FIRST FLOOR
 FURNITURE
 PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET
A-3.1a
OF SHEETS

REVISIONS	BY
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BID-PERMIT(R2) xx/xx/xx	2

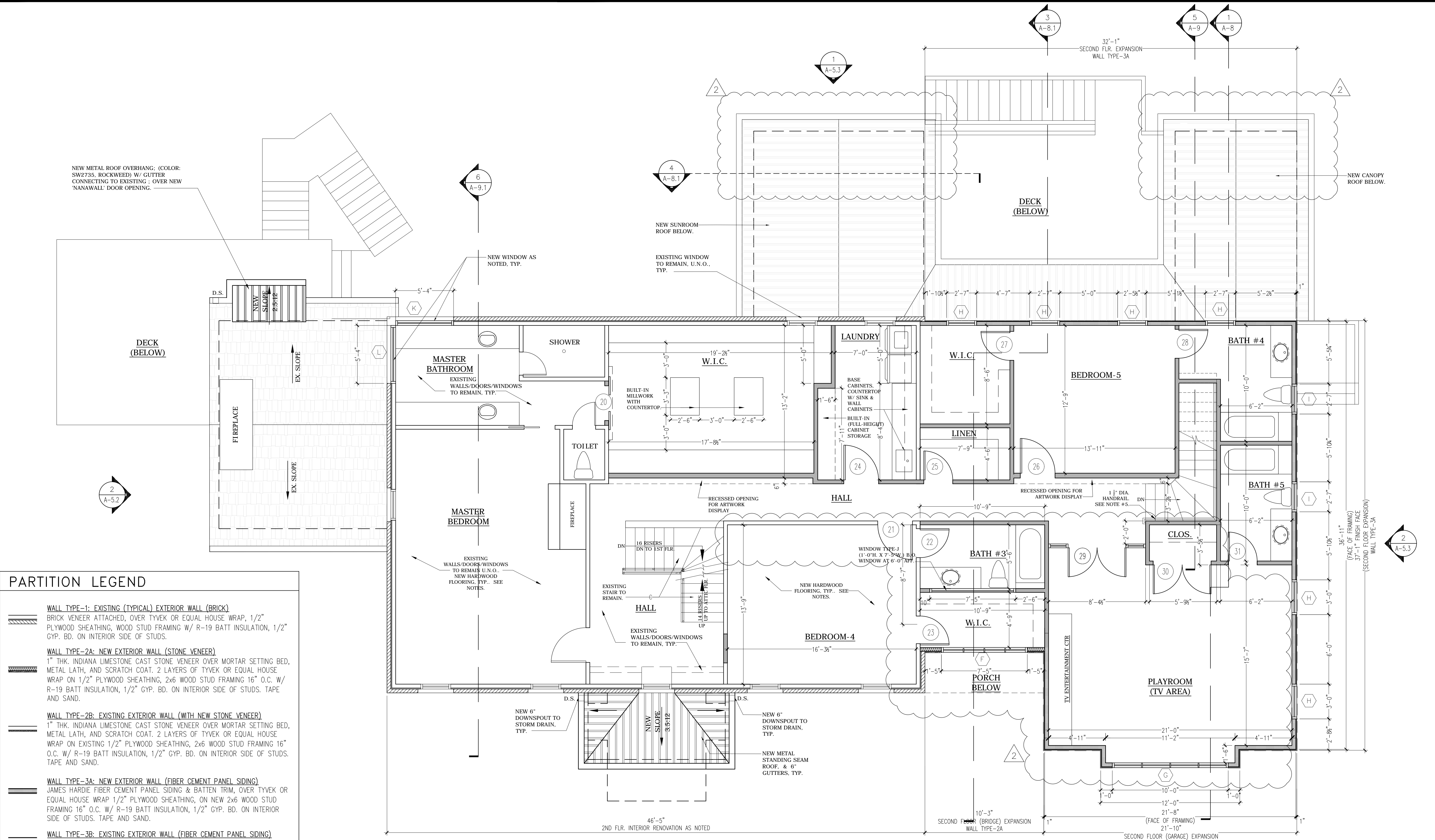
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

PROPOSED SECOND FLOOR PLAN

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
XXXX		06/2024	N/A	00000	A-3.2

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

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PARTITION LEGEND

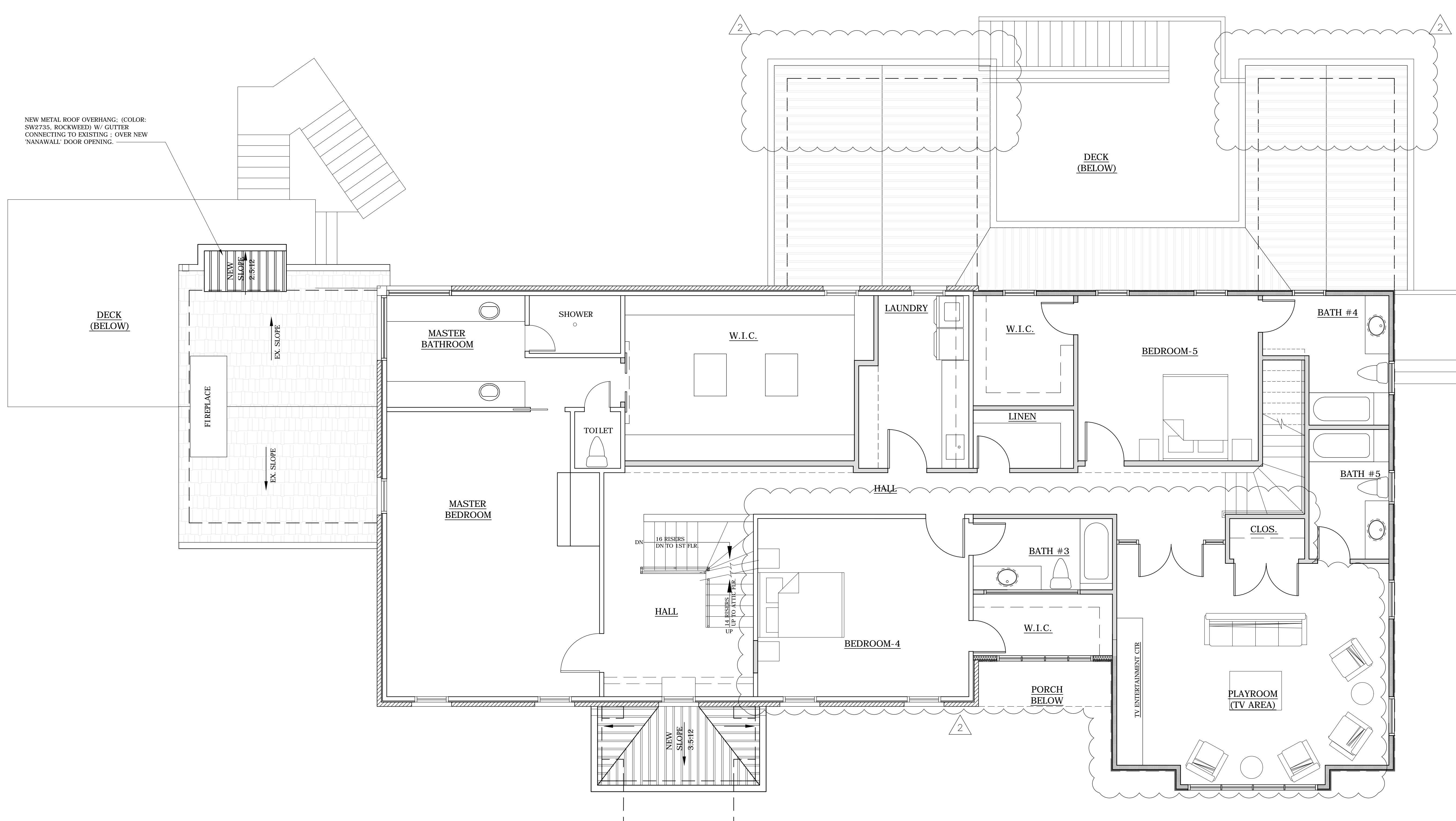
- WALL TYPE-1: EXISTING (TYPICAL) EXTERIOR WALL (BRICK)**
 BRICK VENEER ATTACHED, OVER TYVEK OR EQUAL HOUSE WRAP, 1/2" PLYWOOD SHEATHING, WOOD STUD FRAMING W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS.
- WALL TYPE-2A: NEW EXTERIOR WALL (STONE VENEER)**
 1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-2B: EXISTING EXTERIOR WALL (WITH NEW STONE VENEER)**
 1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON EXISTING 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3A: NEW EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
 JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON NEW 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3B: EXISTING EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
 JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON EXISTING WOOD FRAMING.
- EXISTING PARTITION WALL (INTERIOR)**
 2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES.
- NEW PARTITION WALL (INTERIOR)**
 2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES. TAPE AND SAND.

NOTE:
 ALL INTERIOR DIMENSIONS ARE TO OF WOOD STUDS, U.N.O.
 ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE, U.N.O.

1 PROPOSED SECOND FLOOR PLAN
 A-3.2 SCALE: 1/4" = 1'-0"

- NOTES:**
- 1) HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS, WHERE EXTERIOR WALLS FROM TWO SUCCESSIVE LEVELS OF THE HOUSE ALIGN, SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
 - 2) MAKE UP AIR IS REQUIRED IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING MORE THAN 400 CFMS. SEE M 1503.6 OF THE INTERNATIONAL RESIDENTIAL CODE.
 - 3) ALL BALCONIES AND TERRACES FINISHED FLOORS TO BE AT LEAST 1.5" STEPPED DOWN FROM HOUSE FINISHED FLOOR.
 - 4) FOR CHILD SAFETY, THE BALUSTERS OR OTHER DECORATIVE INFILL MUST BE SPACED LESS THAN 4 INCHES APART (A 4-INCH-DIAMETER BALL SHOULD NOT PASS BETWEEN THE BALUSTERS).
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 - 6) GUARDRAIL AT EXTERIOR DECKS AND STAIRS SHALL MEET REQUIREMENTS OF GA. RESIDENTIAL CODE, SECT. R312.1.2 FOR GUARDS. GUARDRAILS FOR DECKS AND EXTERIOR STAIR HANDRAILS/GUARDRAILS SHALL BE MAX. 36" ABOVE WALKING SURFACE AND STAIR RISER NOSINGS.
 - 7) ALL EXISTING HARDWOOD FLOORING SHALL BE DEMOLISHED AND SUBSTRATE PREPARED TO RECEIVE NEW HARDWOOD FLOORING.
 - 8) EXISTING HVAC SYSTEM SHALL BE RECONFIGURED TO SERVICE BASEMENT LEVEL ONLY. NEW HVAC SYSTEM WILL TO BE DESIGNED/INSTALLED BY HVAC CONTRACTOR.

NOT RELEASED FOR CONSTRUCTION



1 SECOND FLOOR FURNITURE PLAN
 A-3.2a SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

coin lichtenstein and associates

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

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BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

SECOND FLOOR FURNITURE PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET
A-3.2a
OF SHEETS

REVISIONS	BY
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PRELIM BID 08/28/24	
BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

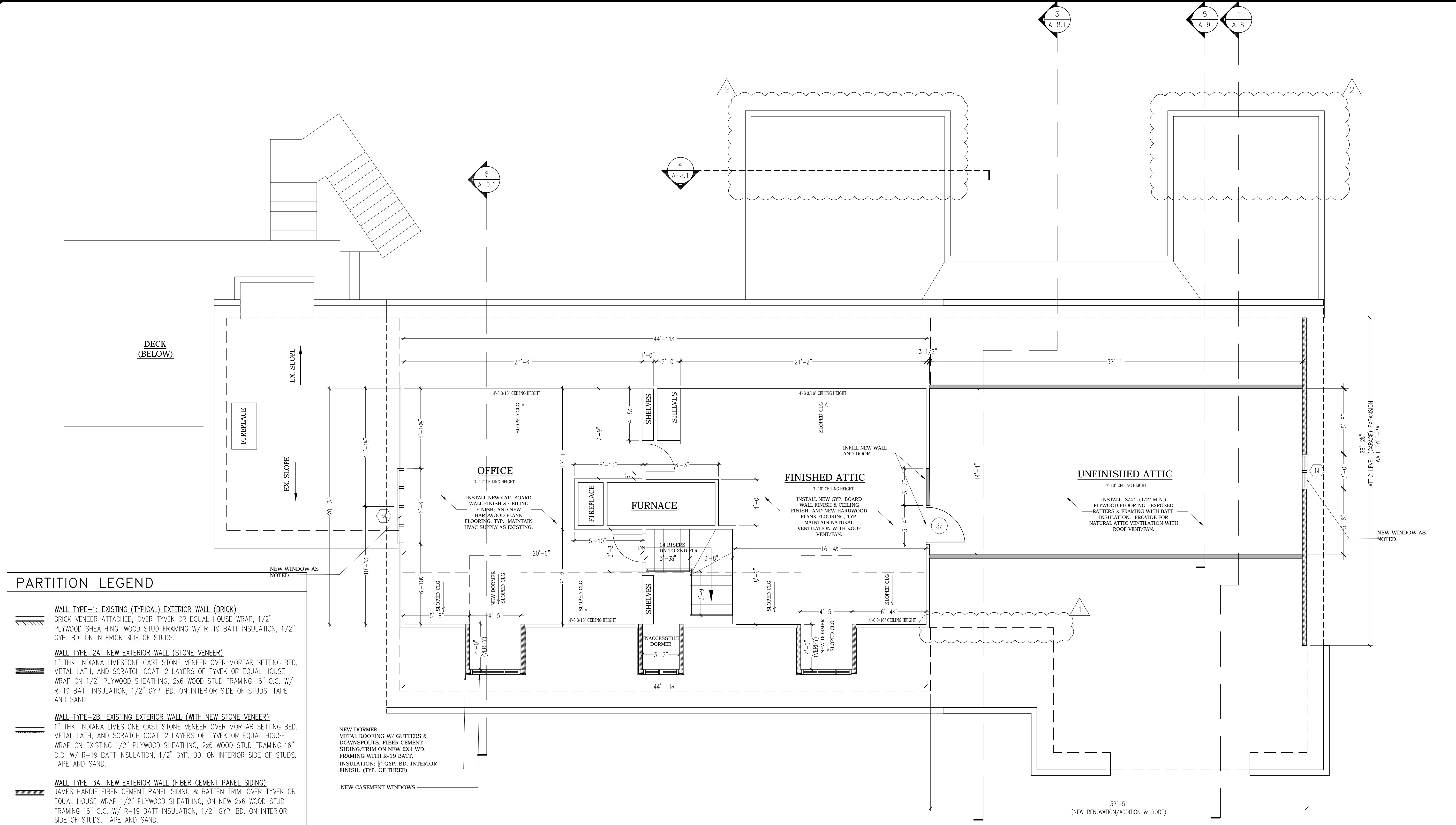
PROPOSED ATTIC PLAN

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A-3.3

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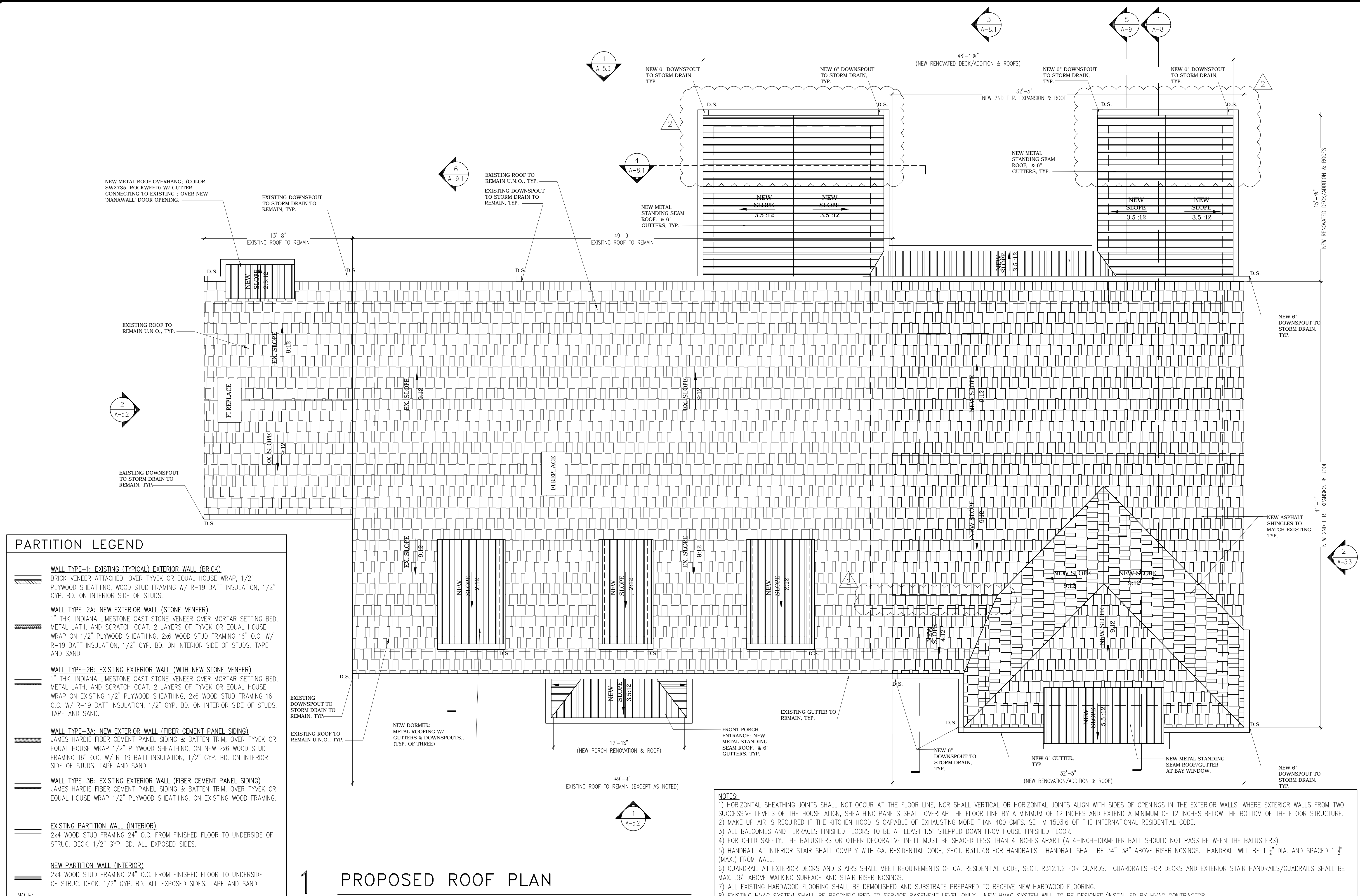
PARTITION LEGEND

- WALL TYPE-1: EXISTING (TYPICAL) EXTERIOR WALL (BRICK)**
BRICK VENEER ATTACHED, OVER TYVEK OR EQUAL HOUSE WRAP, 1/2" PLYWOOD SHEATHING, WOOD STUD FRAMING W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS.
- WALL TYPE-2A: NEW EXTERIOR WALL (STONE VENEER)**
1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-2B: EXISTING EXTERIOR WALL (WITH NEW STONE VENEER)**
1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON EXISTING 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3A: NEW EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON NEW 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
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- EXISTING PARTITION WALL (INTERIOR)**
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- NEW PARTITION WALL (INTERIOR)**
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NOTE:
ALL INTERIOR DIMENSIONS ARE TO OF WOOD STUDS, U.N.O.
ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE, U.N.O.

1 PROPOSED ATTIC PLAN
A-3.3 SCALE: 1/4" = 1'-0"

- NOTES:**
- 1) HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. WHERE EXTERIOR WALLS FROM TWO SUCCESSIVE LEVELS OF THE HOUSE ALIGN, SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
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PARTITION LEGEND

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- WALL TYPE-2B: EXISTING EXTERIOR WALL (WITH NEW STONE VENEER)**
1" THK. INDIANA LIMESTONE CAST STONE VENEER OVER MORTAR SETTING BED, METAL LATH, AND SCRATCH COAT. 2 LAYERS OF TYVEK OR EQUAL HOUSE WRAP ON EXISTING 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3A: NEW EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON NEW 2x6 WOOD STUD FRAMING 16" O.C. W/ R-19 BATT INSULATION, 1/2" GYP. BD. ON INTERIOR SIDE OF STUDS. TAPE AND SAND.
- WALL TYPE-3B: EXISTING EXTERIOR WALL (FIBER CEMENT PANEL SIDING)**
JAMES HARDIE FIBER CEMENT PANEL SIDING & BATTEN TRIM, OVER TYVEK OR EQUAL HOUSE WRAP 1/2" PLYWOOD SHEATHING, ON EXISTING WOOD FRAMING.
- EXISTING PARTITION WALL (INTERIOR)**
2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES.
- NEW PARTITION WALL (INTERIOR)**
2x4 WOOD STUD FRAMING 24" O.C. FROM FINISHED FLOOR TO UNDERSIDE OF STRUC. DECK. 1/2" GYP. BD. ALL EXPOSED SIDES. TAPE AND SAND.

NOTE:
ALL INTERIOR DIMENSIONS ARE TO OF WOOD STUDS, U.N.O.
ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE, U.N.O.

1
A-3.4 **PROPOSED ROOF PLAN**
SCALE: 1/4" = 1'-0"

- NOTES:**
- HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. WHERE EXTERIOR WALLS FROM TWO SUCCESSIVE LEVELS OF THE HOUSE ALIGN, SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
 - MAKE UP AIR IS REQUIRED IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING MORE THAN 400 CFMS. SEE M 1503.6 OF THE INTERNATIONAL RESIDENTIAL CODE.
 - ALL BALCONIES AND TERRACES FINISHED FLOORS TO BE AT LEAST 1.5" STEPPED DOWN FROM HOUSE FINISHED FLOOR.
 - FOR CHILD SAFETY, THE BALUSTERS OR OTHER DECORATIVE INFILL MUST BE SPACED LESS THAN 4 INCHES APART (A 4-INCH-DIAMETER BALL SHOULD NOT PASS BETWEEN THE BALUSTERS).
 - HANDRAIL AT INTERIOR STAIR SHALL COMPLY WITH GA. RESIDENTIAL CODE, SECT. R311.7.8 FOR HANDRAILS. HANDRAIL SHALL BE 34"-38" ABOVE RISER NOSINGS. HANDRAIL WILL BE 1 1/2" DIA. AND SPACED 1 1/2" (MAX.) FROM WALL.
 - GUARDRAIL AT EXTERIOR DECKS AND STAIRS SHALL MEET REQUIREMENTS OF GA. RESIDENTIAL CODE, SECT. R312.1.2 FOR GUARDS. GUARDRAILS FOR DECKS AND EXTERIOR STAIR HANDRAILS/GUARDRAILS SHALL BE MAX. 36" ABOVE WALKING SURFACE AND STAIR RISER NOSINGS.
 - ALL EXISTING HARDWOOD FLOORING SHALL BE DEMOLISHED AND SUBSTRATE PREPARED TO RECEIVE NEW HARDWOOD FLOORING.
 - EXISTING HVAC SYSTEM SHALL BE RECONFIGURED TO SERVICE BASEMENT LEVEL ONLY. NEW HVAC SYSTEM WILL TO BE DESIGNED/INSTALLED BY HVAC CONTRACTOR.

NOT RELEASED FOR CONSTRUCTION

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1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008

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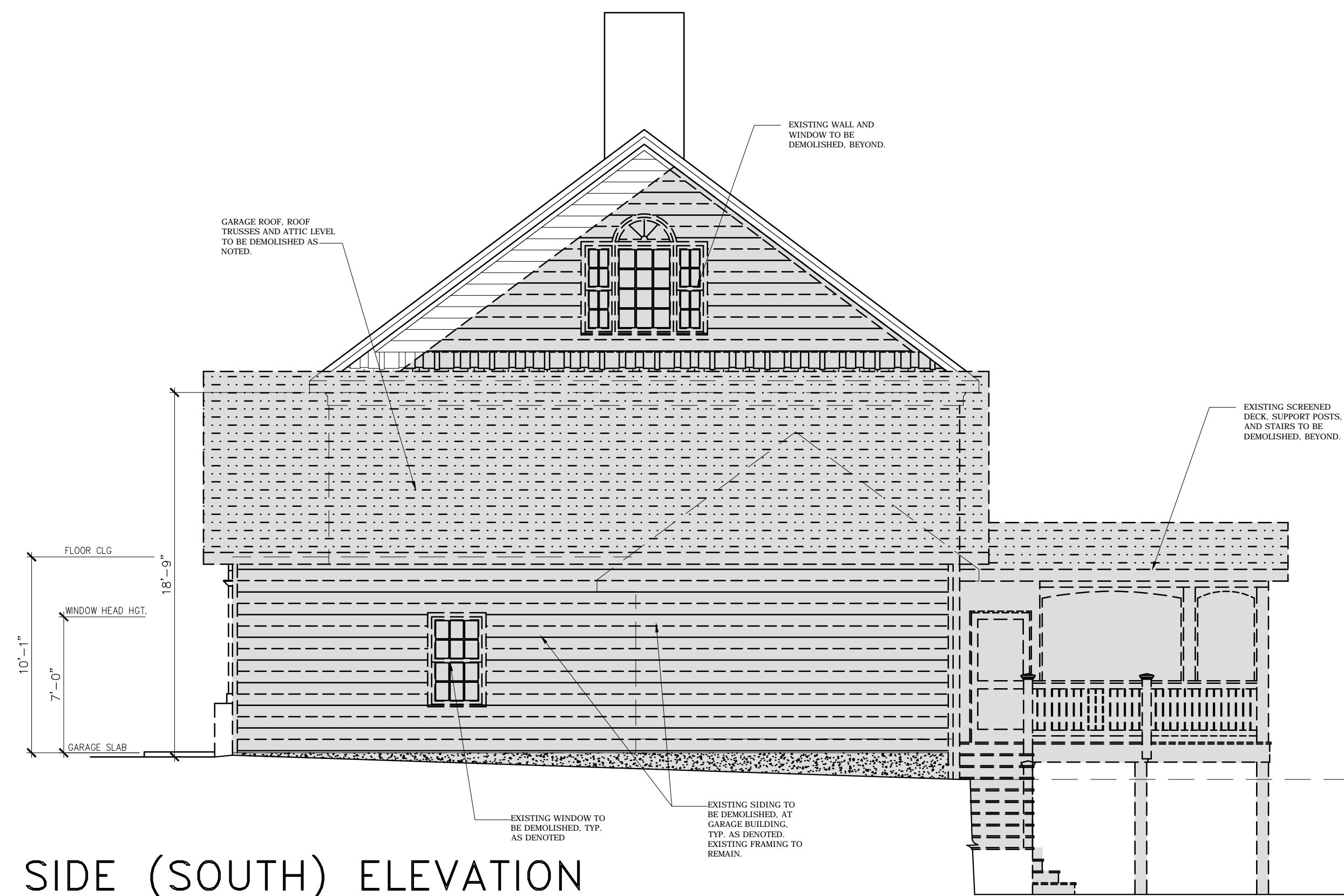
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

PROPOSED ROOF PLAN

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
XXXX		06/2024	N/A	00000	A-3.4



1 EXISTING/DEMO FRONT (WEST) ELEVATION
 A-4.0 SCALE: 3/16" = 1'-0"



2 EXISTING/DEMO SIDE (SOUTH) ELEVATION
 A-4.0 SCALE: 3/16" = 1'-0"

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REVISIONS	BY
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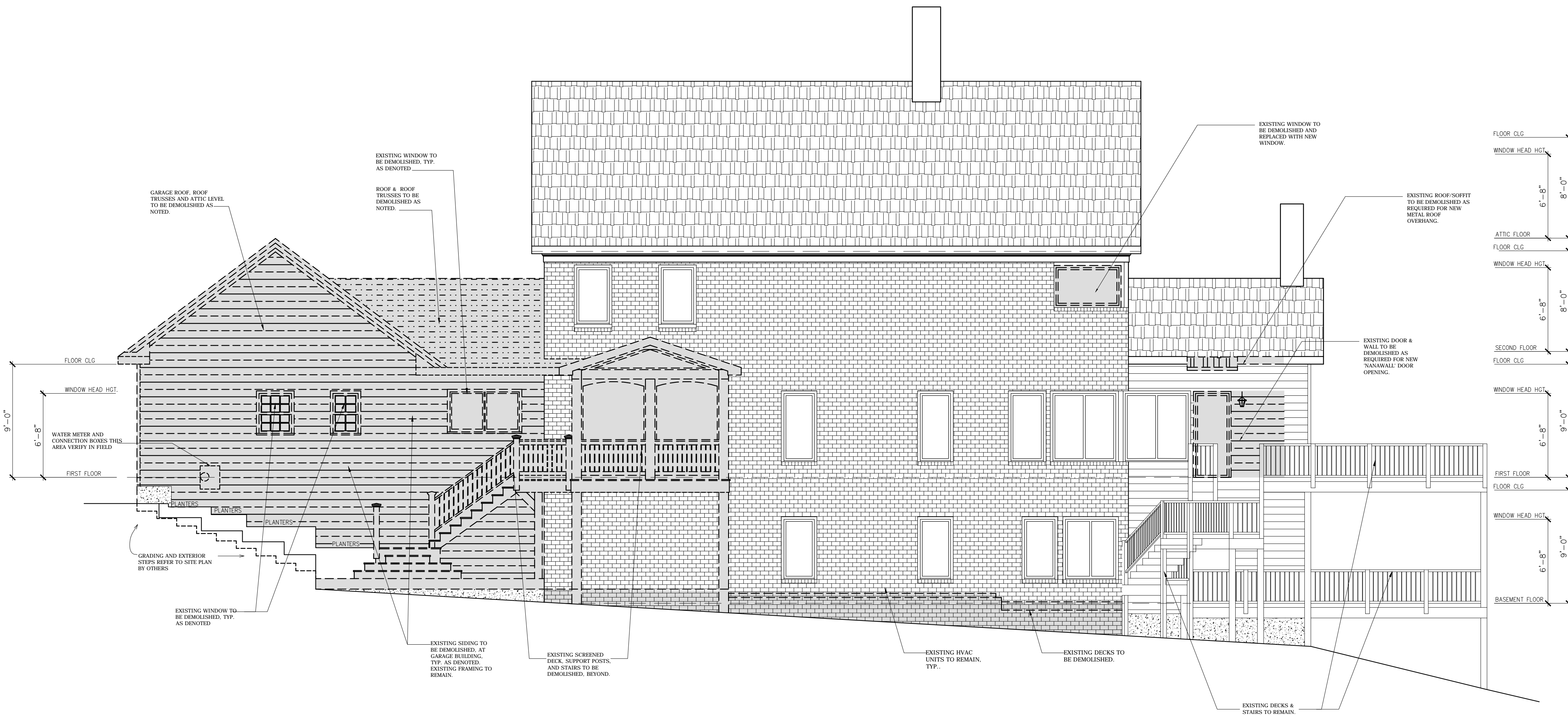
PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO
 ELEVATIONS

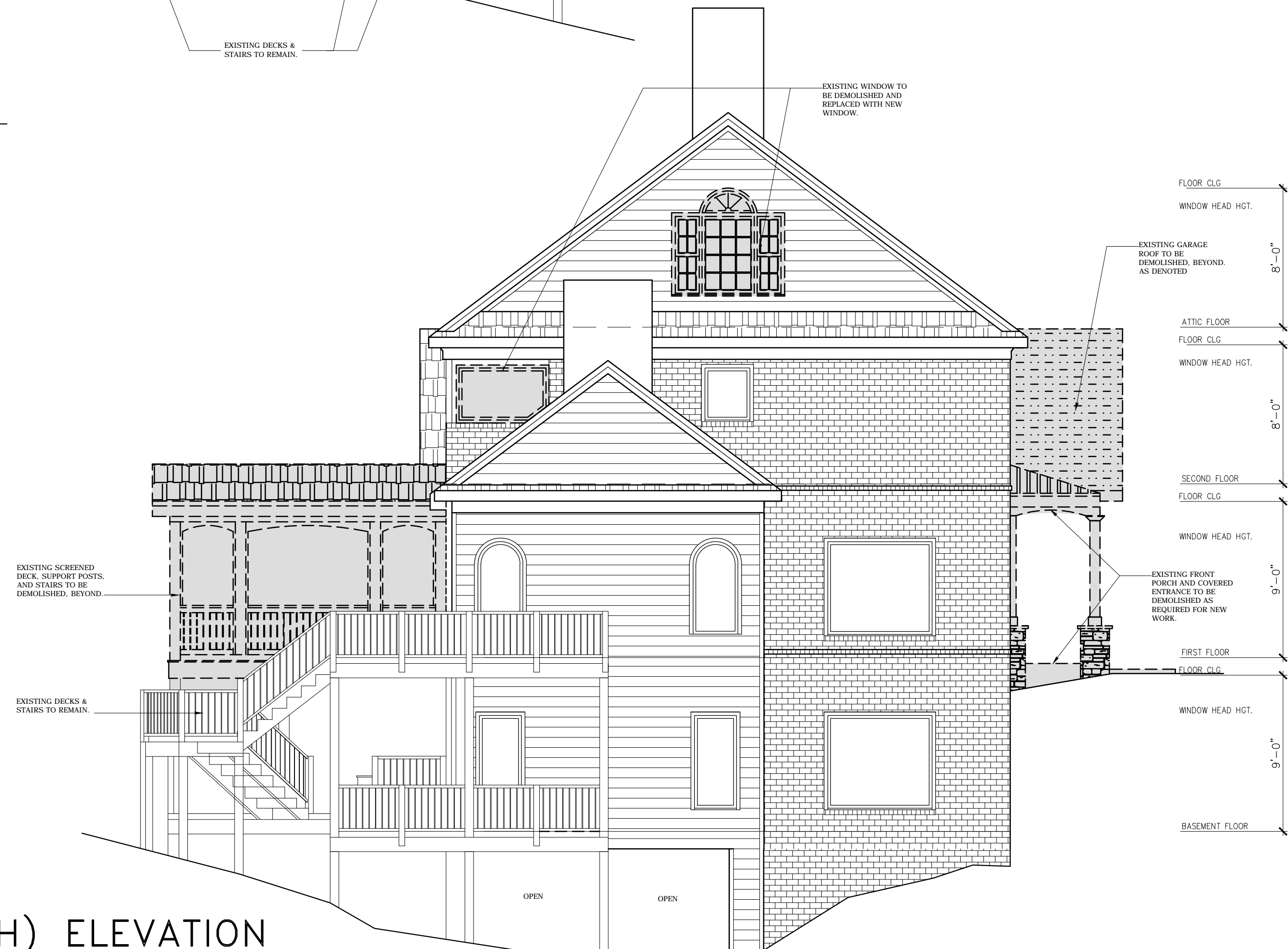
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CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-4.0

NOT RELEASED FOR CONSTRUCTION



1 EXISTING/DEMO REAR (EAST) ELEVATION
 A-4.1 SCALE: 3/16" = 1'-0"



2 EXISTING/DEMO SIDE (NORTH) ELEVATION
 A-4.1 SCALE: 3/16" = 1'-0"

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REVISIONS	BY
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BID SET 09/19/24	
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

EXISTING/DEMO ELEVATIONS

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

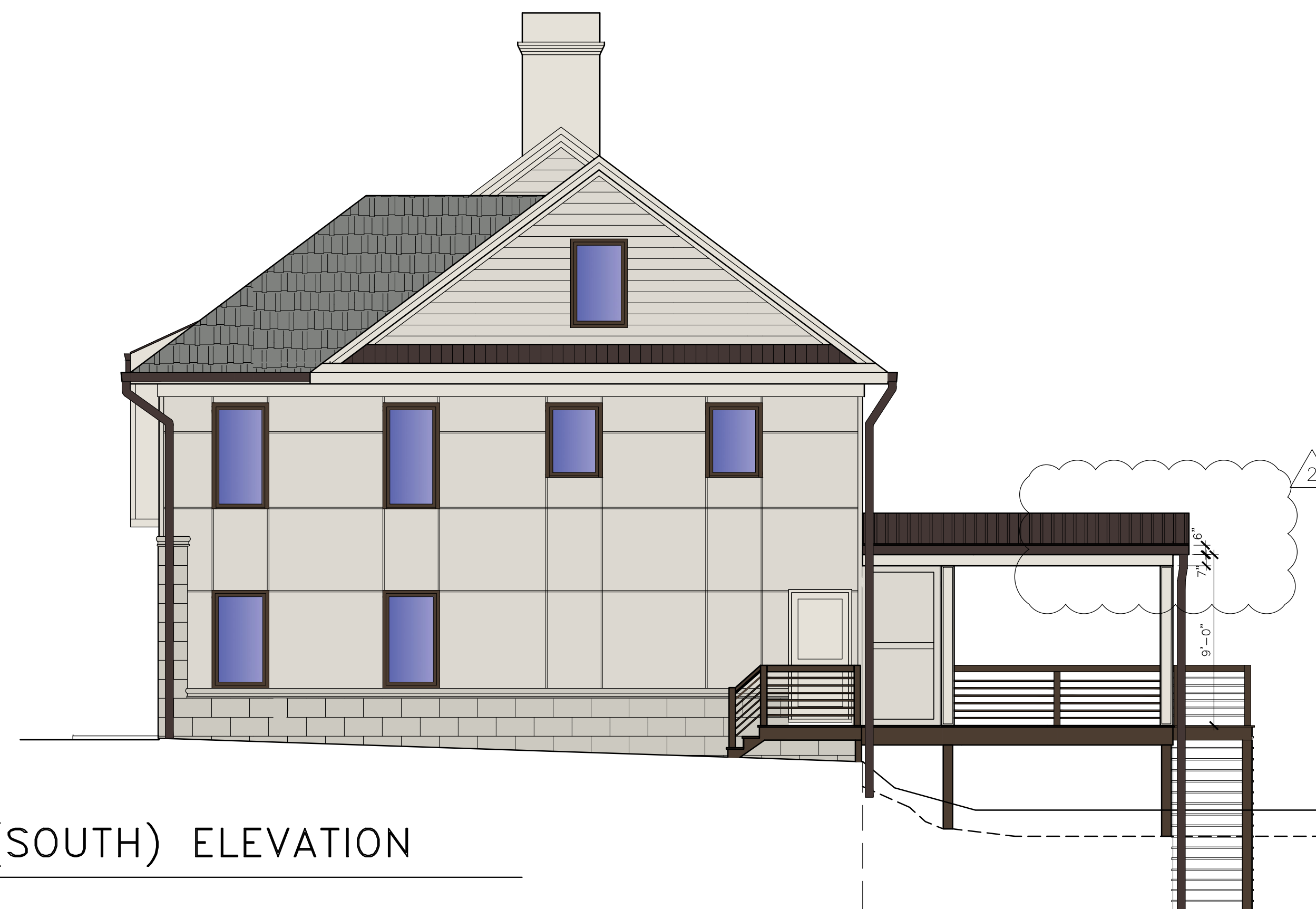
A-4.1

NOT RELEASED FOR CONSTRUCTION



1 PROPOSED FRONT (WEST) ELEVATION
 A-5.0 SCALE: 3/16" = 1'-0"

	COLOR-1: EXISTING BRICK
	COLOR-2: STONE VENEER; INDIANA CAST STONE (OLDCASTLE); COLOR: WHITE; FINISH: GROUND (SMOOTH) FACE
	COLOR-3: SHERWIN-WILLIAMS, COLOR: DRIFT OF MIST, SW9166; JAMES HARDIE; FIBER-CEMENT TRIM & PANELS
	COLOR-4: SHERWIN-WILLIAMS, COLOR: HERON PLUME, SW6070; FIBER-CEMENT TRIM
	COLOR-5: WINDOW & DOORS, METAL ROOF, COLOR: DARK BRONZE OR ROCKWEED, SW 2735 (TO MATCH EXISTING WINDOWS)



2 PROPOSED SIDE (SOUTH) ELEVATION
 A-5.0 SCALE: 3/16" = 1'-0"

1150 LAKE HEARN DRIVE - SUITE 150
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REVISIONS	BY
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BID SET 09/19/24	
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

PROPOSED ELEVATIONS

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-5.0

NOT RELEASED FOR CONSTRUCTION



1 PROPOSED REAR (EAST) ELEVATION
 A-5.1 SCALE: 3/16" = 1'-0"

	COLOR-1: EXISTING BRICK
	COLOR-2: STONE VENEER; INDIANA CAST STONE (OLDCASTLE); COLOR: WHITE; FINISH: GROUND (SMOOTH) FACE
	COLOR-3: SHERWIN-WILLIAMS, COLOR: DRIFT OF MIST, SW9166; JAMES HARDIE; FIBER-CEMENT TRIM & PANELS
	COLOR-4: SHERWIN-WILLIAMS, COLOR: HERON PLUME, SW6070; FIBER-CEMENT TRIM
	COLOR-5: WINDOW & DOORS, METAL ROOF, COLOR: DARK BRONZE OR ROCKWEED, SW 2735 (TO MATCH EXISTING WINDOWS)



2 PROPOSED SIDE (NORTH) ELEVATION
 A-5.1 SCALE: 3/16" = 1'-0"

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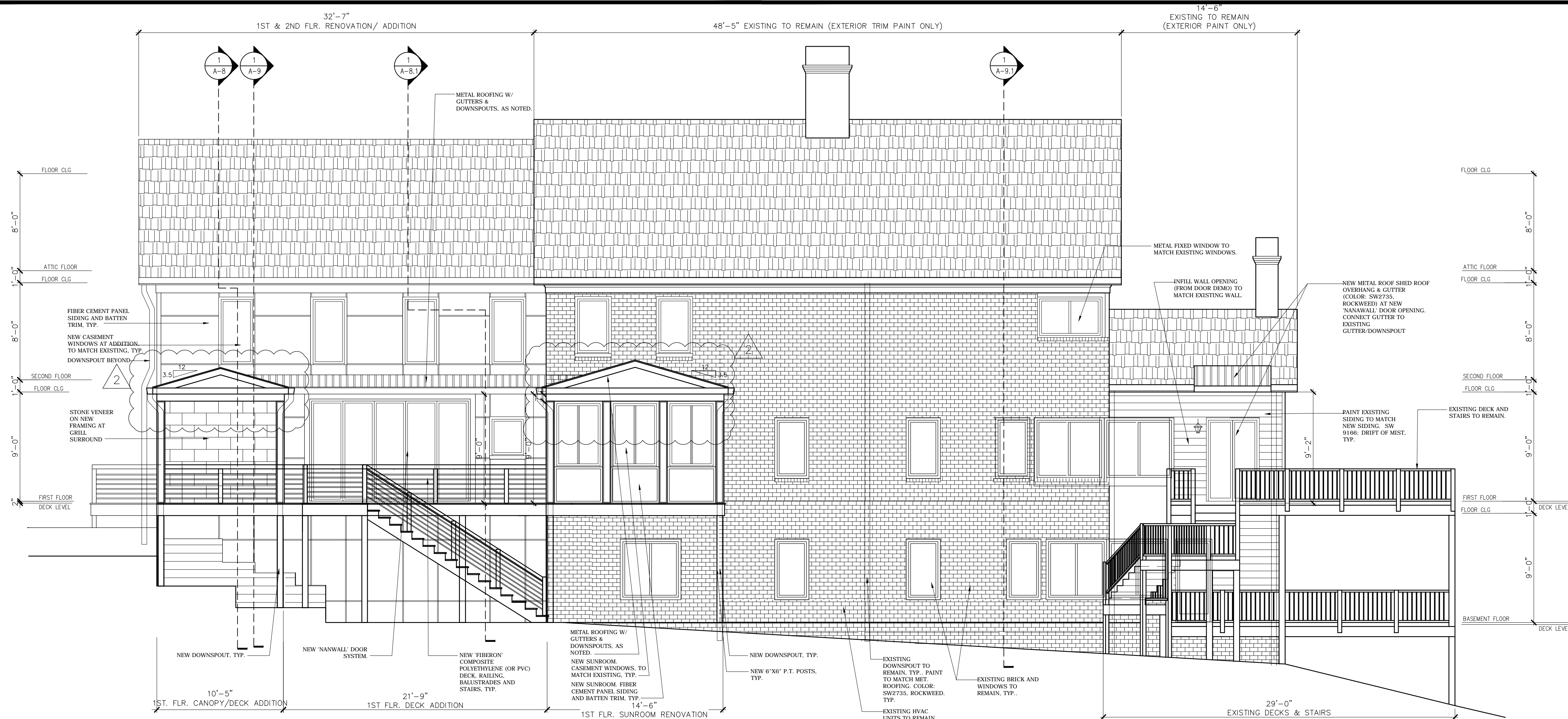
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

PROPOSED ELEVATIONS

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET A-5.1

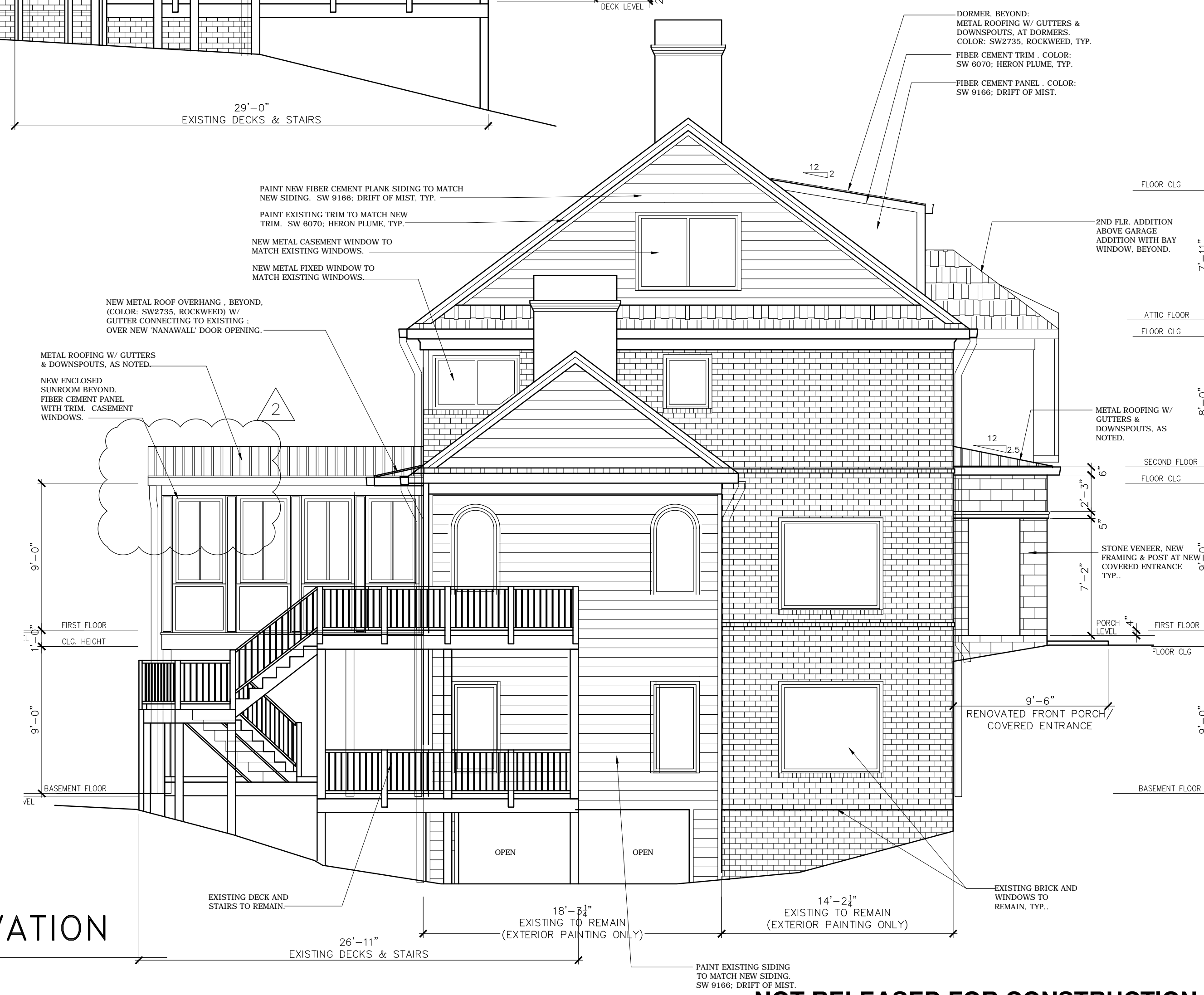
NOT RELEASED FOR CONSTRUCTION



1 PROPOSED REAR (EAST) ELEVATION
A-5.3 SCALE: 3/16" = 1'-0"

-  COLOR-1: EXISTING BRICK
-  COLOR-2: STONE VENEER; INDIANA CAST STONE (OLDCASTLE); COLOR: WHITE; FINISH: GROUND (SMOOTH) FACE
-  COLOR-3: SHERWIN-WILLIAMS, COLOR: DRIFT OF MIST, SW9166; JAMES HARDIE; FIBER-CEMENT TRIM & PANELS
-  COLOR-4: SHERWIN-WILLIAMS, COLOR: HERON PLUME, SW6070; FIBER-CEMENT TRIM
-  COLOR-5: WINDOW & DOORS, METAL ROOF, COLOR: DARK BRONZE OR ROCKWEED, SW 2735 (TO MATCH EXISTING WINDOWS)

2 PROPOSED SIDE (NORTH) ELEVATION
A-5.3 SCALE: 3/16" = 1'-0"



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1150 LAKE HEARN DRIVE - SUITE 150
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BID-PERMIT(R2) xx/xx/xx	2

PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

PROPOSED ELEVATIONS

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-5.3
OF SHEETS

NOTES

OWNER AND INTERIOR DESIGNER TO VERIFY AND APPROVE THE PROPOSED LAYOUT AND LOCATION OF LIGHT FIXTURES, PER INTERIOR DESIGNER'S FURNITURE LAYOUT, AMBIANCE, AND OVERALL INTERIOR DECORATION.

SPECIAL LIGHT FIXTURES SPECIFICATIONS TO BE PROVIDED BY OWNER OR INTERIOR DESIGNER.

REVISIONS	BY
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BID-PERMIT(R2) xx/xx/xx	2

1150 LAKE HEARN DRIVE - SUITE 150
ATLANTA, GA 30342 (404)303-7008


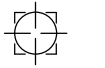

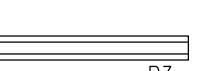


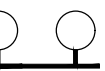






**PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342**

PROPOSED FIRST FLOOR
CEILING PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-6

LIGHTING LEGEND

-  CEILING MOUNTED LIGHT FIXTURE
-  RECESSED CEILING LIGHT FIXTURE
-  PENDANT LIGHT FIXTURE T.B.D.
-  4 FOOT LED SUSPENDED LINEAR FIXTURE T.B.D.
-  DIRECTIONAL CEILING MOUNT SPOT LIGHT FIXTURE
-  EXTERIOR SCONCE WALL LIGHT FIXTURE
-  BATHROOM SCONCE WALL LIGHT FIXTURE
-  COMBO CEILING/LIGHT FIXTURE MOUNTED FAN
-  VENT FAN
-  SWITCH
-  3-WAY SWITCH
-  WIRING
-  SMOKE DETECTOR

1) LIGHTING FIXTURES TO BE SELECTED BY OWNER.
2) L.C. = INSIDE CABINET

LIGHTING LEGEND NOTES:

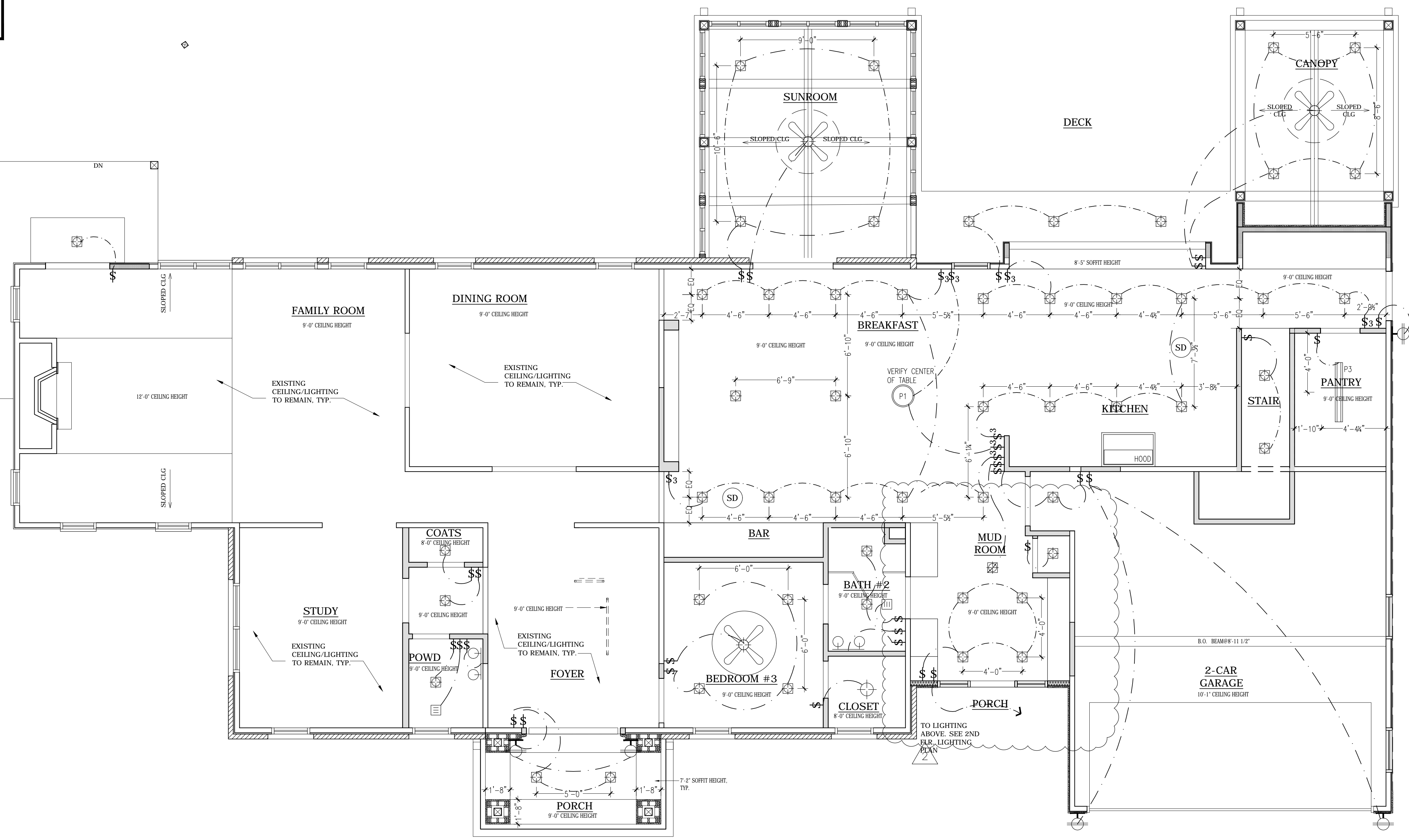
SMOKE DETECTORS 120V W/ BATTERY BACKUP INTERCONNECTED IN BEDROOMS, HALLS, VAULTED CEILINGS AND HABITABLE ATTICS INSTALLED PER NFPA 72, MANUFACTURER'S INSTALLATION INSTRUCTIONS. (R314) MUST BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM DOOR OR OPENING OF A BATHROOM THAT CONTAINS A TUB OR SHOWER. WHEN MORE THAN ONE CO DETECTOR IS REQUIRED, THEY MUST BE INTERCONNECTED. CO ALARMS MUST BE HARD WIRED.

CARBON MONOXIDE ALARMS-OUTSIDE SLEEPING AREA WHERE FUEL FIRED EQUIPMENT IS USED, OR WHERE THERE IS AN ATTACHED GARAGE. R315 MUST BE HAR WIRED AND INTERCONNECTED.

1
A-6

PROPOSED FIRST CEILING PLAN

SCALE: 1/4" = 1'-0"



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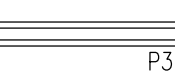


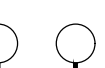



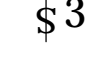
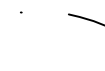

NOT RELEASED FOR CONSTRUCTION

NOTES

OWNER AND INTERIOR DESIGNER TO VERIFY AND APPROVE THE PROPOSED LAYOUT AND LOCATION OF LIGHT FIXTURES, PER INTERIOR DESIGNER'S FURNITURE LAYOUT, AMBIANCE, AND OVERALL INTERIOR DECORATION.

SPECIAL LIGHT FIXTURES SPECIFICATIONS TO BE PROVIDED BY OWNER OR INTERIOR DESIGNER.

LIGHTING LEGEND

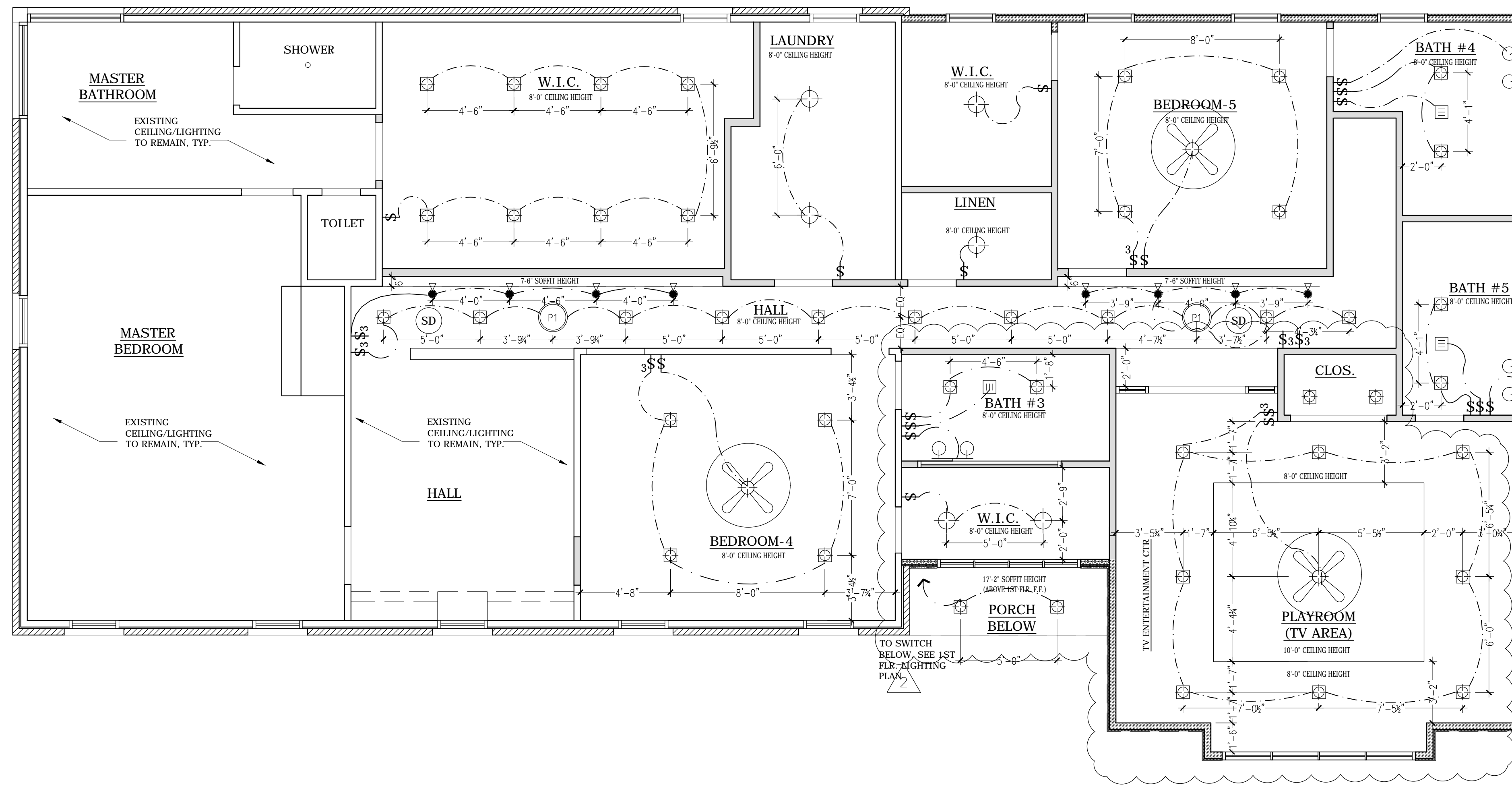
-  CEILING MOUNTED LIGHT FIXTURE
-  RECESSED CEILING LIGHT FIXTURE
-  PENDANT LIGHT FIXTURE T.B.D.
-  4 FOOT LED SUSPENDED LINEAR FIXTURE T.B.D.
-  DIRECTIONAL CEILING MOUNT SPOT LIGHT FIXTURE
-  EXTERIOR SCONCE WALL LIGHT FIXTURE
-  BATHROOM SCONCE WALL LIGHT FIXTURE
-  COMBO CEILING/LIGHT FIXTURE MOUNTED FAN
-  VENT FAN
-  SWITCH
-  3-WAY SWITCH
-  WIRING
-  SMOKE DETECTOR

1) LIGHTING FIXTURES TO BE SELECTED BY OWNER.
2) I.C. = INSIDE CABINET

LIGHTING LEGEND NOTES:

SMOKE DETECTORS 120V W/ BATTERY BACKUP INTERCONNECTED IN BEDROOMS, HALLS, VAULTED CEILINGS AND HABITABLE ATTICS INSTALLED PER NFPA 72, MANUFACTURER'S INSTALLATION INSTRUCTIONS. (R314) MUST BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM DOOR OR OPENING OF A BATHROOM THAT CONTAINS A TUB OR SHOWER. WHEN MORE THAN ONE CO DETECTOR IS REQUIRED, THEY MUST BE INTERCONNECTED. CO ALARMS MUST BE HARD WIRED.

CARBON MONOXIDE ALARMS-OUTSIDE SLEEPING AREA WHERE FUEL FIRED EQUIPMENT IS USED, OR WHERE THERE IS AN ATTACHED GARAGE. R315 MUST BE HAR WIRED AND INTERCONNECTED.



1 PROPOSED SECOND CEILING PLAN
A-6.1 SCALE: 1/4" = 1'-0"

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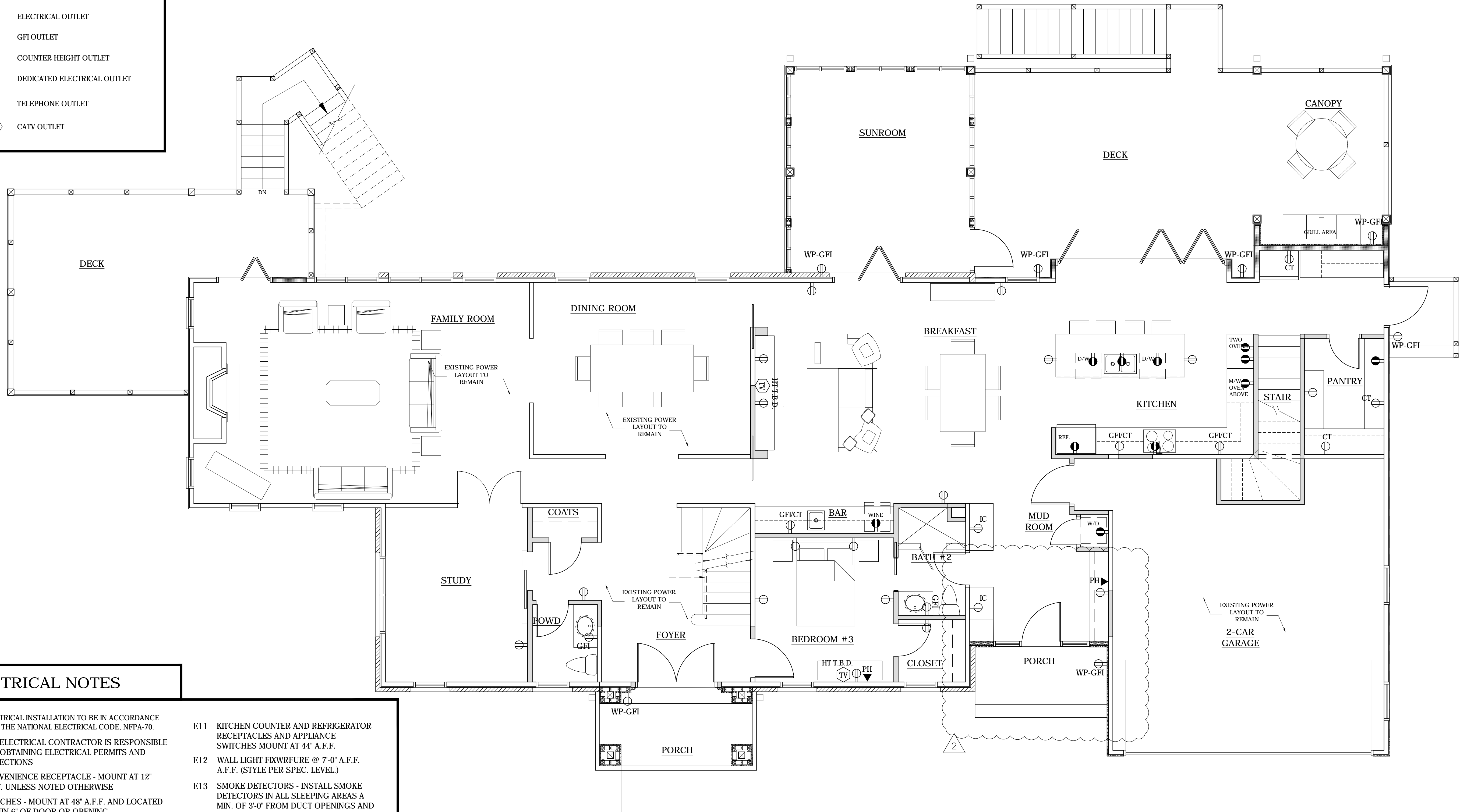
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

PROPOSED SECOND FLOOR
CEILING PLAN

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET A-6.1

ELECTRICAL LEGEND

- WP-GFI WATER-PROOF GFI
- ELECTRICAL OUTLET
- GFI GFI OUTLET
- CT COUNTER HEIGHT OUTLET
- DEDICATED ELECTRICAL OUTLET
- PH TELEPHONE OUTLET
- CATV OUTLET



ELECTRICAL NOTES

- E1 ELECTRICAL INSTALLATION TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, NFPA-70.
- E2 THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ELECTRICAL PERMITS AND INSPECTIONS
- E3 CONVENIENCE RECEPTACLE - MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE
- E4 SWITCHES - MOUNT AT 48" A.F.F. AND LOCATED WITHIN 6" OF DOOR OR OPENING (SEE RCP SHEETS FOR LOCATION)
- E5 MICROWAVE OVEN - SEPARATE 20 AMP SINGLE RECEPTACLE AT 78" A.F.F..
- E6 BATHROOM RECEPTACLES - GFI MOUNT 42" A.F.F.
- E7 RECEPTACLES IN THE GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCES
- E8 EXTERIOR RECEPTACLES TO BE GFI AND WEATHER PROTECTED
- E9 WASHER/DRYER - SEPARATE 20 AMP DUPLEX RECEPTACLE AT 44" A.F.F.
- E10 TELEPHONE OUTLETS - PROVIDE BOX (MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE), COVER PLATE, 4/C WIRE. TERMINATE NEAR PANEL
- E11 KITCHEN COUNTER AND REFRIGERATOR RECEPTACLES AND APPLIANCE SWITCHES MOUNT AT 44" A.F.F.
- E12 WALL LIGHT FIXTURE @ 7'-0" A.F.F. A.F.F. (STYLE PER SPEC. LEVEL.)
- E13 SMOKE DETECTORS - INSTALL SMOKE DETECTORS IN ALL SLEEPING AREAS A MIN. OF 3'-0" FROM DUCT OPENINGS AND A MIN. OF 10'-0" FROM SLEEPING ROOM DOORS. PROVIDE DETECTORS ON EACH STORY INCLUDING BASEMENTS. ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED BY PERMANENTLY WIRING AND HAVE BATTERY BACK-UPS. (SEE RCP SHEETS FOR LOCATION)
- E14 FOYERS OVER 60 SQ. FT. REQUIRE ADDITIONAL OUTLETS AT ANY WALL THAT IS 3' LONG. E3901.11
- E15 RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FEET, FROM A RECEPTACLE OUTLET. -E3901.2.1

1
A-7 **PROPOSED FIRST POWER PLAN**
SCALE: 1/4" = 1'-0"

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ATLANTA, GA 30342 (404)303-7008

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BID SET 09/19/24	
BID-PERMIT(R1) 06/10/25	1
BID-PERMIT(R2) xx/xx/xx	2

**PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342**

PROPOSED
FIRST FLOOR
POWER PLAN

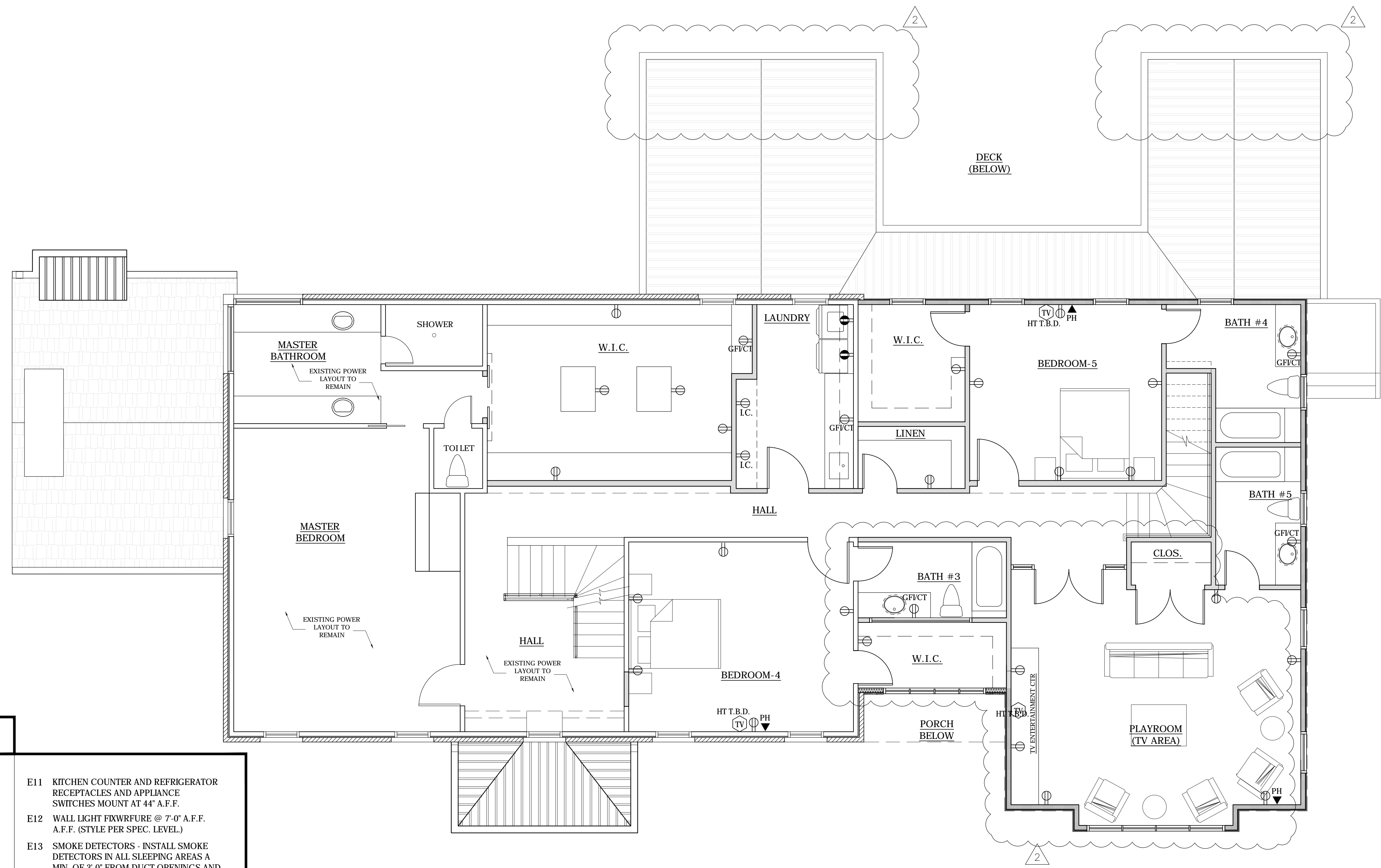
DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET A-7

ELECTRICAL LEGEND

- WP-GFI WATER-PROOF GFI
- ELECTRICAL OUTLET
- GFI GFI OUTLET
- CT COUNTER HEIGHT OUTLET
- DEDICATED ELECTRICAL OUTLET
- PH TELEPHONE OUTLET
- CATV OUTLET

ELECTRICAL NOTES

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- E5 MICROWAVE OVEN - SEPARATE 20 AMP SINGLE RECEPTACLE AT 78" A.F.F..
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- E7 RECEPTACLES IN THE GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCES
- E8 EXTERIOR RECEPTACLES TO BE GFI AND WEATHER PROTECTED
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- E11 KITCHEN COUNTER AND REFRIGERATOR RECEPTACLES AND APPLIANCE SWITCHES MOUNT AT 44" A.F.F.
- E12 WALL LIGHT FIXTURE @ 7'-0" A.F.F. A.F.F. (STYLE PER SPEC. LEVEL.)
- E13 SMOKE DETECTORS - INSTALL SMOKE DETECTORS IN ALL SLEEPING AREAS A MIN. OF 3'-0" FROM DUCT OPENINGS AND A MIN. OF 10'-0" FROM SLEEPING ROOM DOORS. PROVIDE DETECTORS ON EACH STORY INCLUDING BASEMENTS. ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED BY PERMANENTLY WIRING AND HAVE BATTERY BACK-UPS. (SEE RCP SHEETS FOR LOCATION)
- E14 FOYERS OVER 60 SQ. FT. REQUIRE ADDITIONAL OUTLETS AT ANY WALL THAT IS 3' LONG. E3901.11
- E15 RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FEET. FROM A RECEPTACLE OUTLET. -E3901.2.1



1 PROPOSED SECOND POWER PLAN
 A-7.1 SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION

coin lichtenstein and associates

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

REVISIONS	BY
PRINT 06/10/25	1
PRINT xx/xx/xx	2

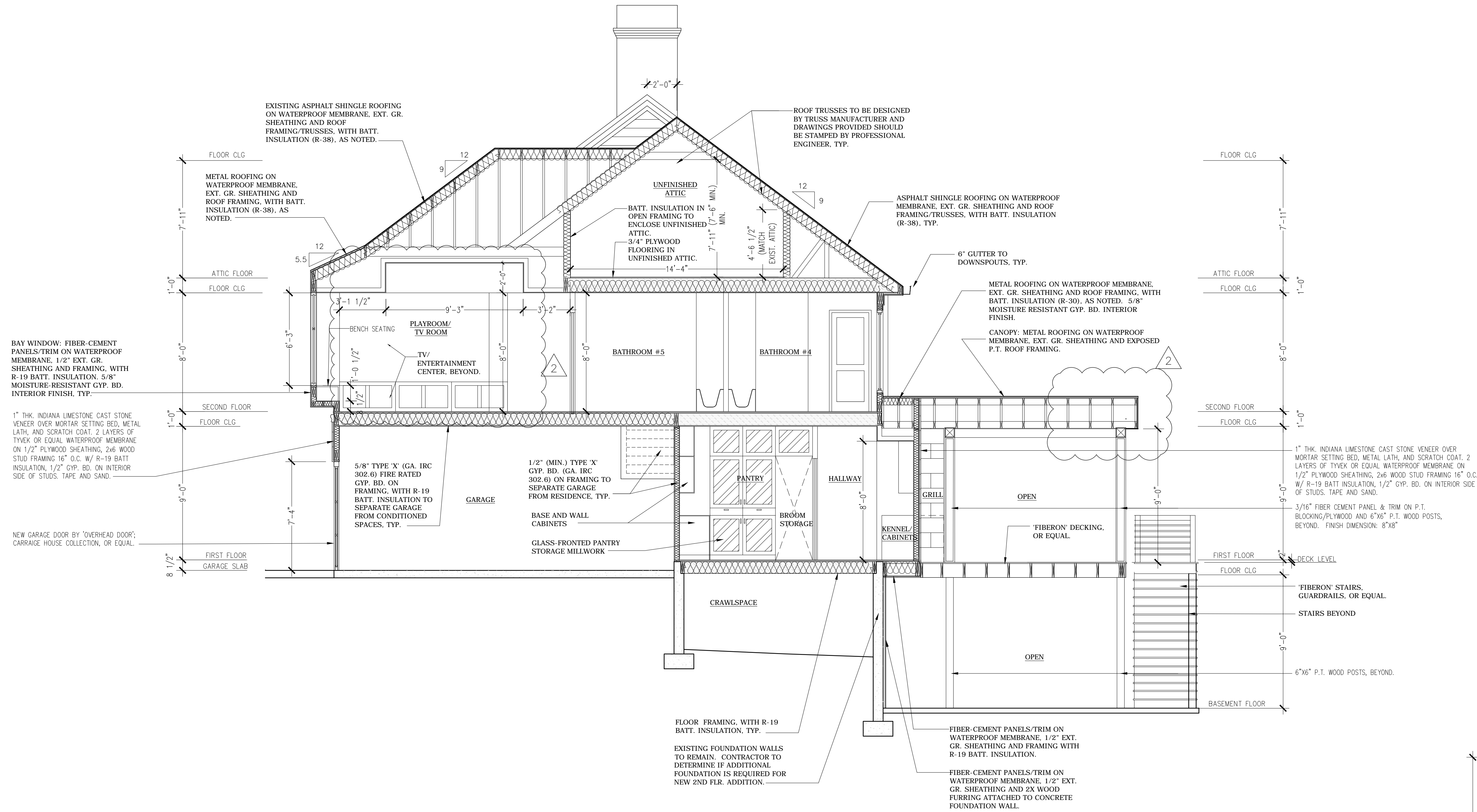
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PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

PROPOSED SECOND FLOOR
 POWER PLAN

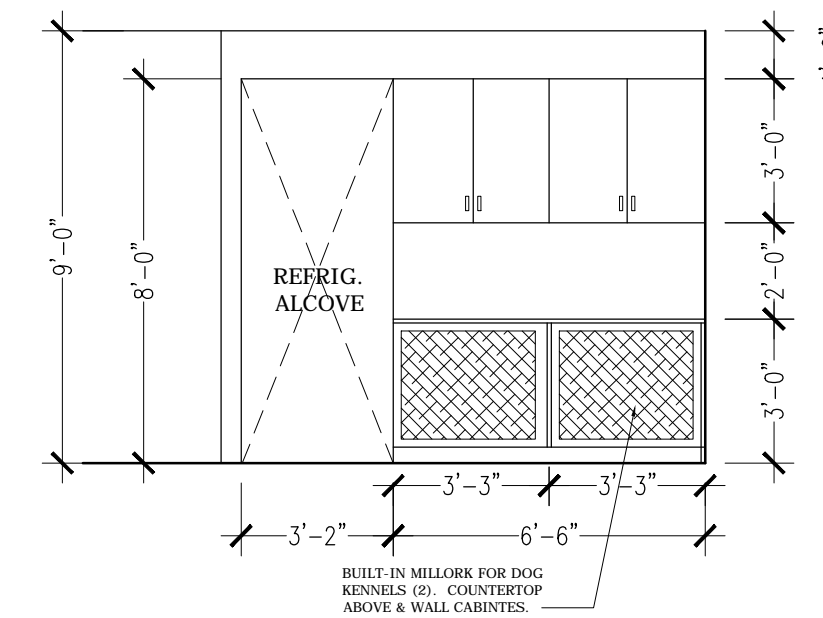
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DATE 06/2024
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JOB NO. 00000
SHEET

A-7.1
 OF SHEETS



1 BUILDING SECTION
A-8.0 SCALE: 1/4" = 1'-0"

2 INTERIOR ELEVATION
A-8.0 SCALE: 1/4" = 1'-0"



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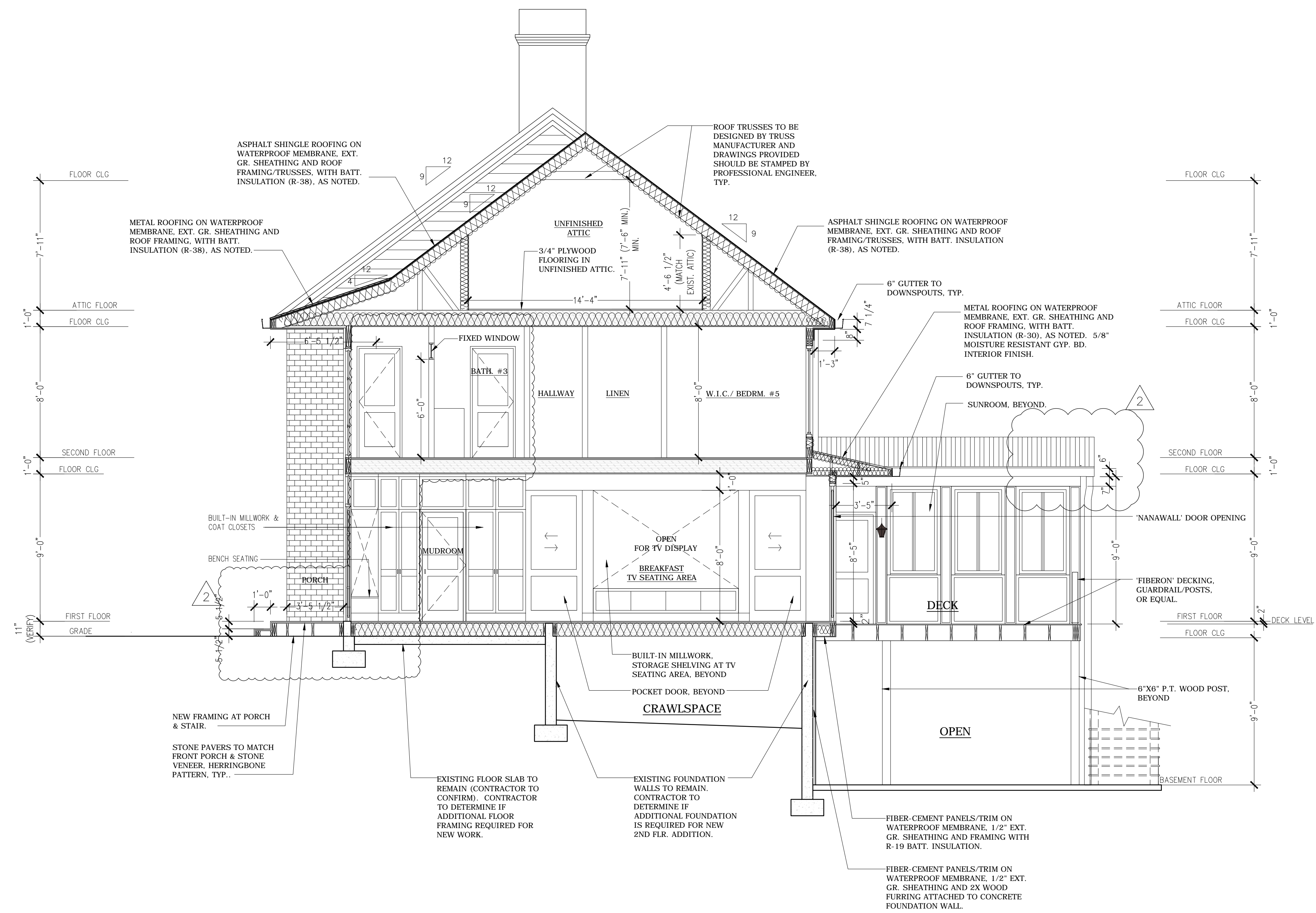
**PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ**
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

BUILDING SECTION/
INTERIOR ELEVATIONS

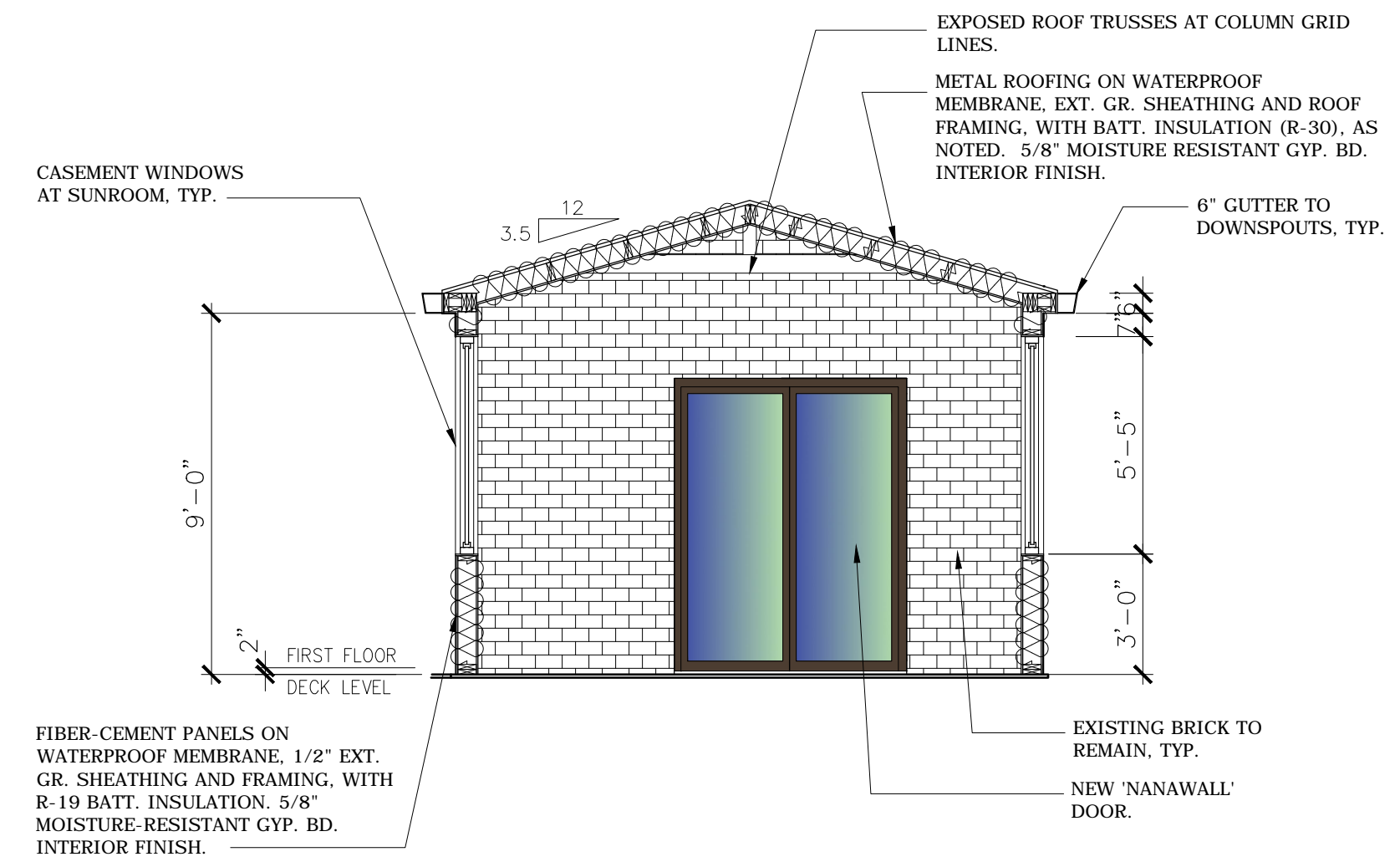
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DATE 06/2024
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JOB NO. 00000
SHEET

A-8.0

OF SHEETS



3 BUILDING SECTION
 A-8.1 SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
 A-8.1 SCALE: 1/4" = 1'-0"

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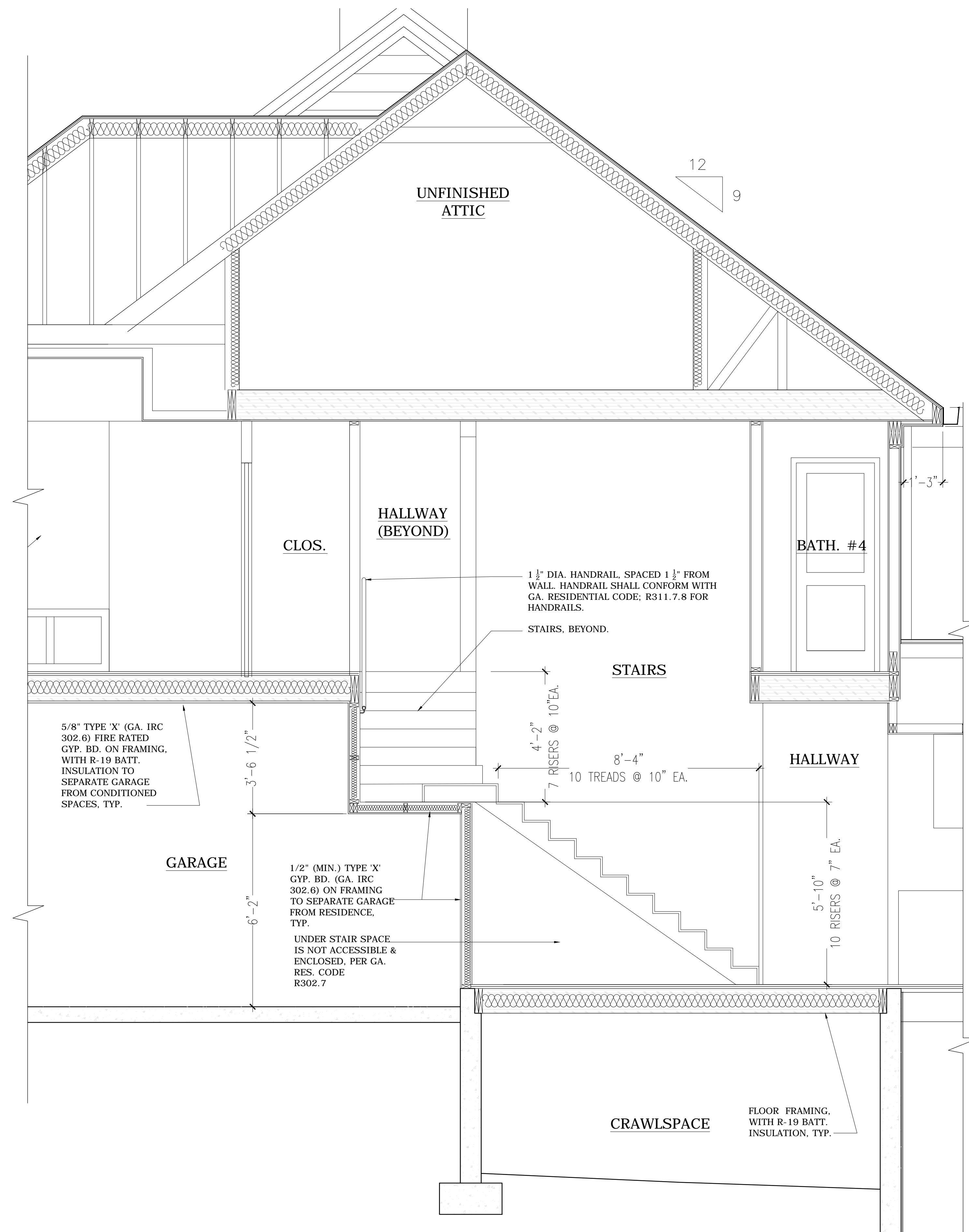
PROPOSED RESIDENTIAL EXPANSION
 FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

BUILDING SECTION

DRAWN XXXX
CHECKED
DATE 06/2024
SCALE N/A
JOB NO. 00000
SHEET

A-8.1

OF SHEETS



5 STAIR SECTION
 A-9.0 SCALE: 1/2" = 1'-0"

1150 LAKE HEARN DRIVE - SUITE 150 ATLANTA, GA 30342 (404)303-7008

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REVISIONS	BY
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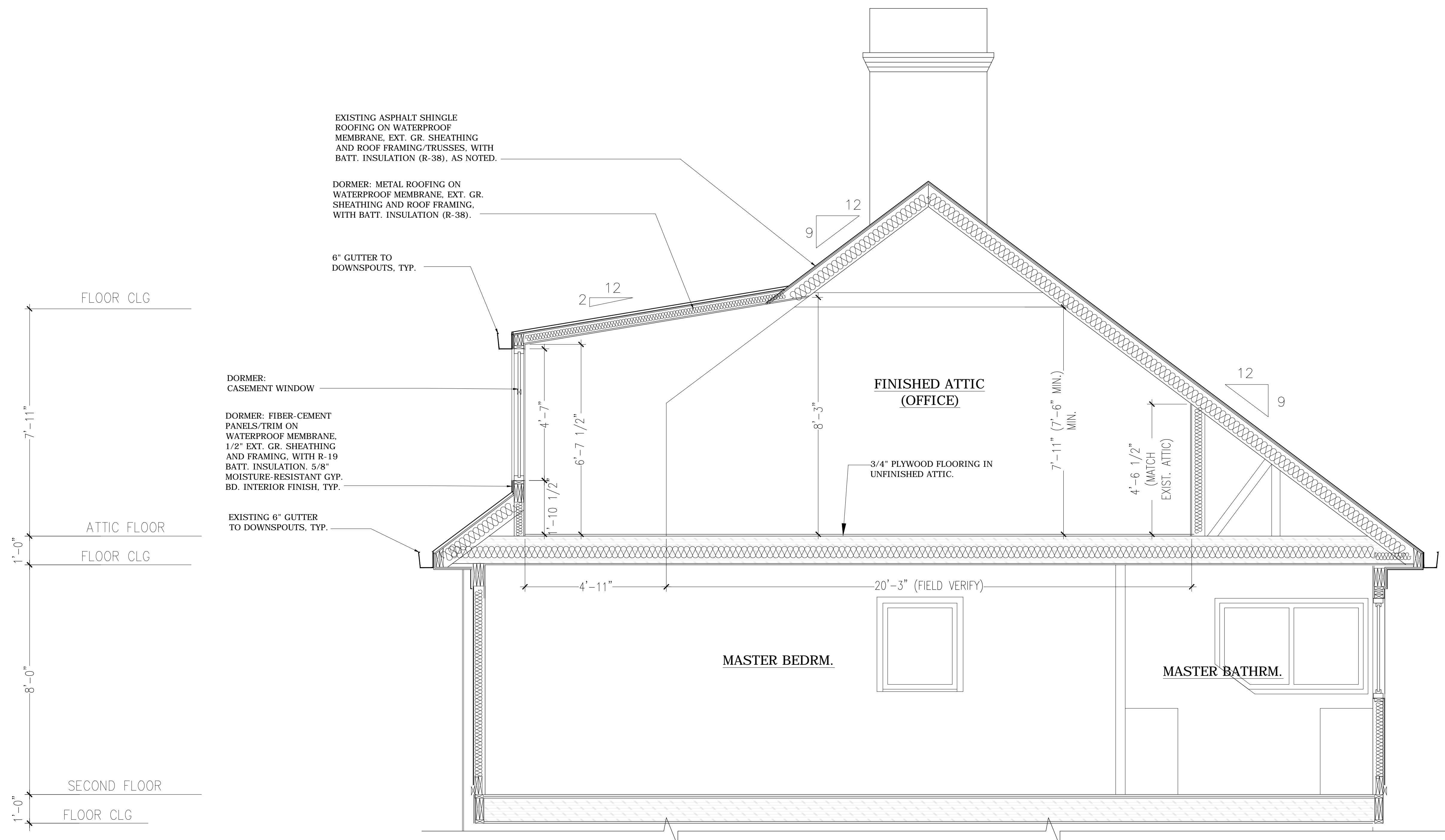
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

STAIR SECTION

DRAWN XXXX
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SCALE N/A
JOB NO. 00000
SHEET

A-9.0

NOT RELEASED FOR CONSTRUCTION



FLOOR CLG

7'-11"

ATTIC FLOOR FLOOR CLG

1'-0"

8'-0"

SECOND FLOOR FLOOR CLG

1'-0"

EXISTING ASPHALT SHINGLE ROOFING ON WATERPROOF MEMBRANE, EXT. GR. SHEATHING AND ROOF FRAMING/TRUSSES, WITH BATT. INSULATION (R-38), AS NOTED.

DORMER: METAL ROOFING ON WATERPROOF MEMBRANE, EXT. GR. SHEATHING AND ROOF FRAMING, WITH BATT. INSULATION (R-38).

6" GUTTER TO DOWNSPOUTS, TYP.

DORMER: CASEMENT WINDOW

DORMER: FIBER-CEMENT PANELS/TRIM ON WATERPROOF MEMBRANE, 1/2" EXT. GR. SHEATHING AND FRAMING, WITH R-19 BATT. INSULATION, 5/8" MOISTURE-RESISTANT GYP. BD. INTERIOR FINISH, TYP.

EXISTING 8" GUTTER TO DOWNSPOUTS, TYP.

FINISHED ATTIC (OFFICE)

MASTER BEDRM.

MASTER BATHRM.

6 DORMER SECTION
 A-9.1 SCALE: 1/2" = 1'-0"

1150 LAKE HEARN DRIVE - SUITE 150
 ATLANTA, GA 30342 (404)303-7008

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PROPOSED RESIDENTIAL EXPANSION
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 4825 FRANKLIN POND ROAD
 SANDY SPRINGS, GA 30342

DORMER SECTION

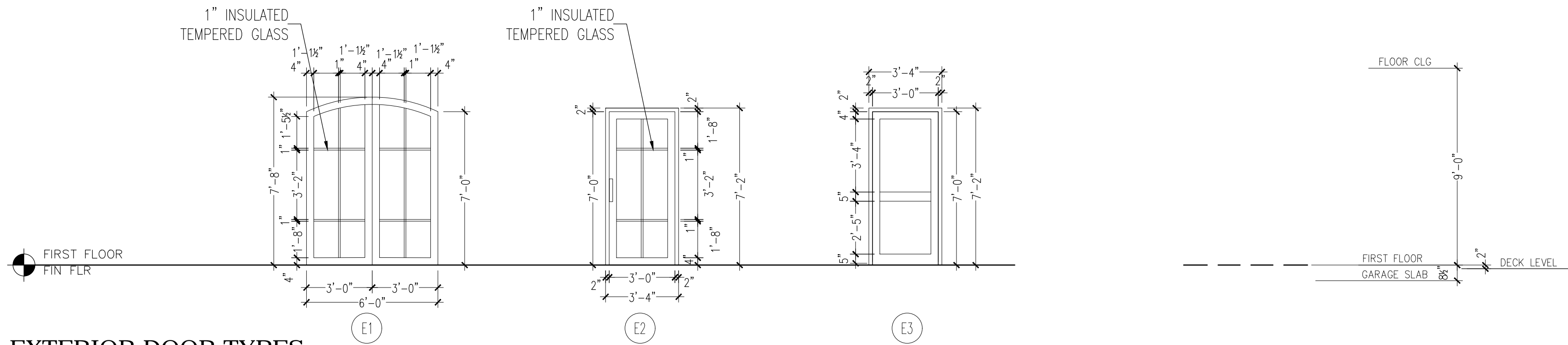
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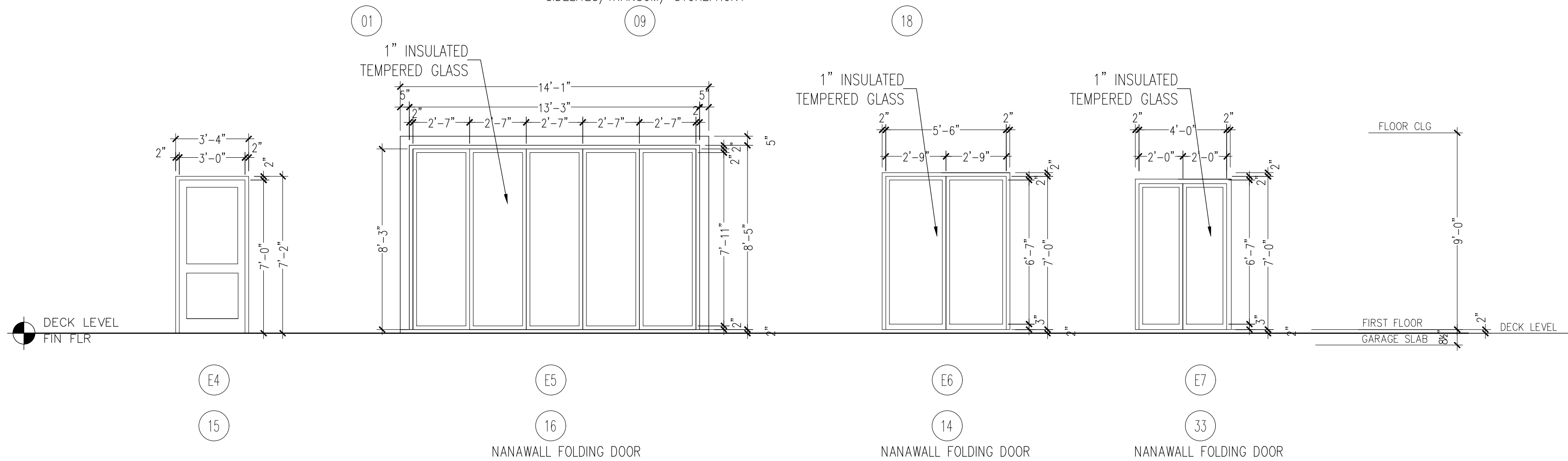
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DOOR SCHEDULE

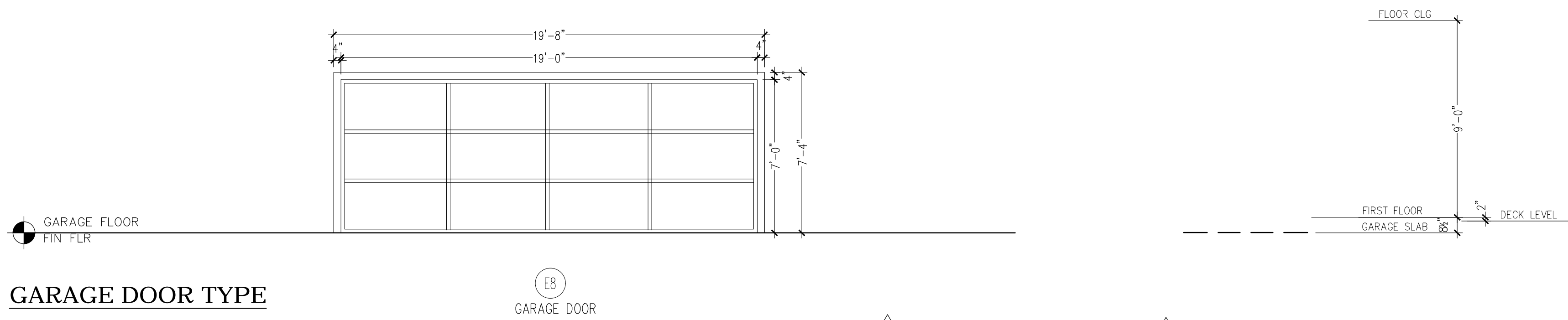
MARK	DOOR		TYPE
	WIDTH	HEIGHT	
E1	6'-0"	7'-5" (7'-0")	EXTERIOR SOLID CORE WEATHERED DOOR W/INSULATED GLASS PANELS; DOOR # 01
E2	3'-0"	7'-0"	EXTERIOR SOLID CORE WEATHERED DOOR W/INSULATED GLASS PANEL; DOOR # 09
E3	3'-0"	7'-0"	SIDE ENTRANCE DOOR - EXTERIOR SOLID CORE WEATHERED DOOR; DOOR # 18
E4	3'-0"	7'-0"	EXTERIOR SOLID CORE WEATHERED DOOR; DOOR # 15
E5	13'-3"	8'-5"	EXTERIOR 'NANAWALL' SYSTEM W/FOLDING DOORS W/INSULATED GLASS PANELS; DOOR # 16
E6	5'-6"	7'-0"	EXTERIOR 'NANAWALL' SYSTEM W/FOLDING DOORS W/INSULATED GLASS PANELS; DOOR # 14
E7	4'-0"	7'-0"	EXTERIOR 'NANAWALL' SYSTEM W/FOLDING DOORS W/INSULATED GLASS PANELS; DOOR # 33
E8	19'-0"	7'-0"	GARAGE DOOR: 'OVERHEAD DOOR' CARRIAGE HOUSE COLLECTION
D1	3'-0"	6'-8"	INTERIOR SOLID CORE DOOR; DOOR # 05, 11, 17, 21
D2	2'-0"	6'-8"	INTERIOR SOLID CORE DOOR; DOOR # 10
D3	2'-6"	6'-8"	INTERIOR SOLID CORE DOOR; DOOR # 02, 04, 06, 08, 22, 23, 31
D4	3'-0"	6'-8"	INTERIOR SOLID CORE POCKET DOOR; DOOR # 03
D5	2'-6"	6'-8"	INTERIOR SOLID CORE POCKET DOOR; DOOR # 07
D6	3'-5 1/2"	8'-0"	INTERIOR SOLID CORE POCKET DOOR; DOOR # 12, 13, 29
D7	2x(1'-6")	6'-8"	SLIDING SOLID CORE BARN DOORS; DOOR # 20
D8	2x(2'-6")	6'-8"	INTERIOR FRENCH DOORS W/ SIDELITES; DOOR #32
D9	2x(2'-6")	6'-8"	INTERIOR SOLID CORE DOOR (2X 2'-6"); DOOR # 30
D10	2'-4"	6'-8"	INTERIOR SOLID CORE DOOR; DOOR # 17



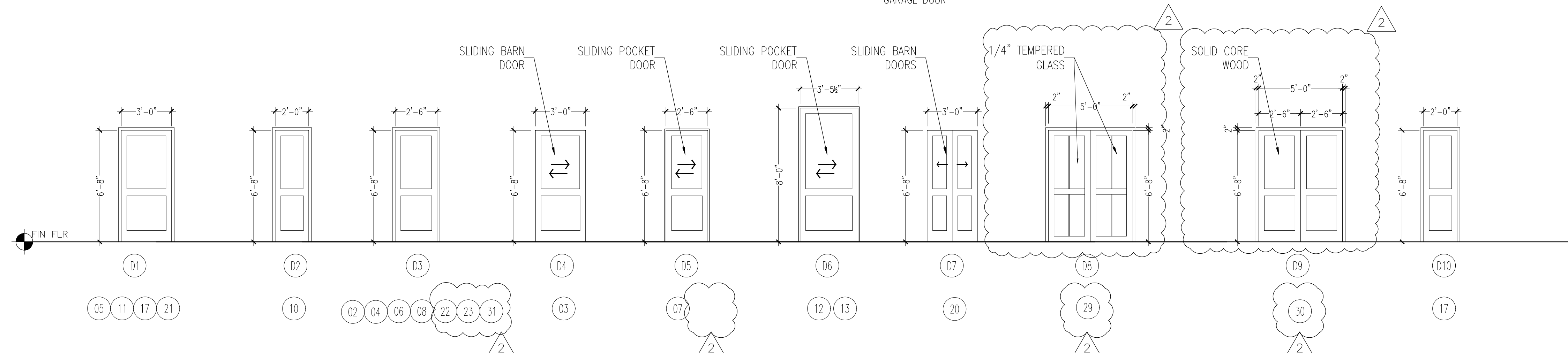
EXTERIOR DOOR TYPES



EXTERIOR DOOR TYPES



GARAGE DOOR TYPE



INTERIOR DOOR TYPES

1150 LAKE HEARN DRIVE - SUITE 150
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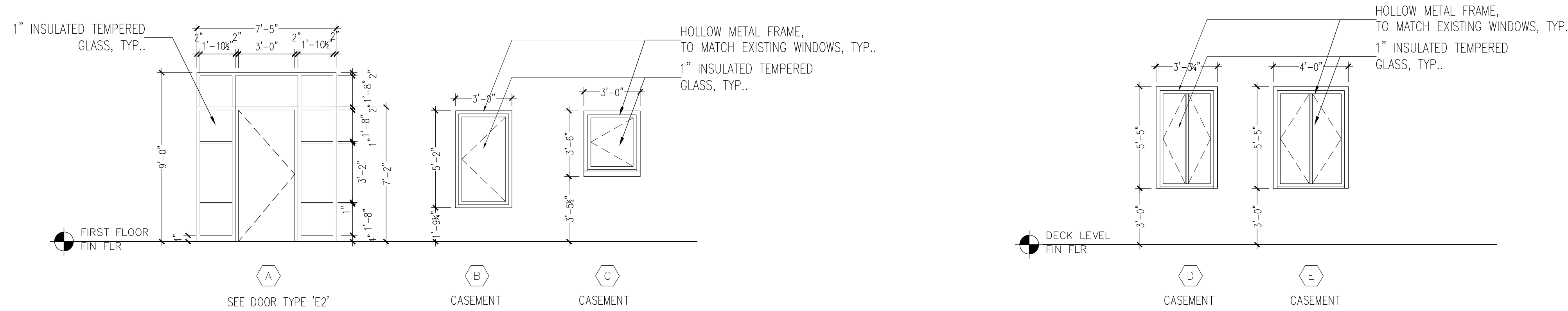
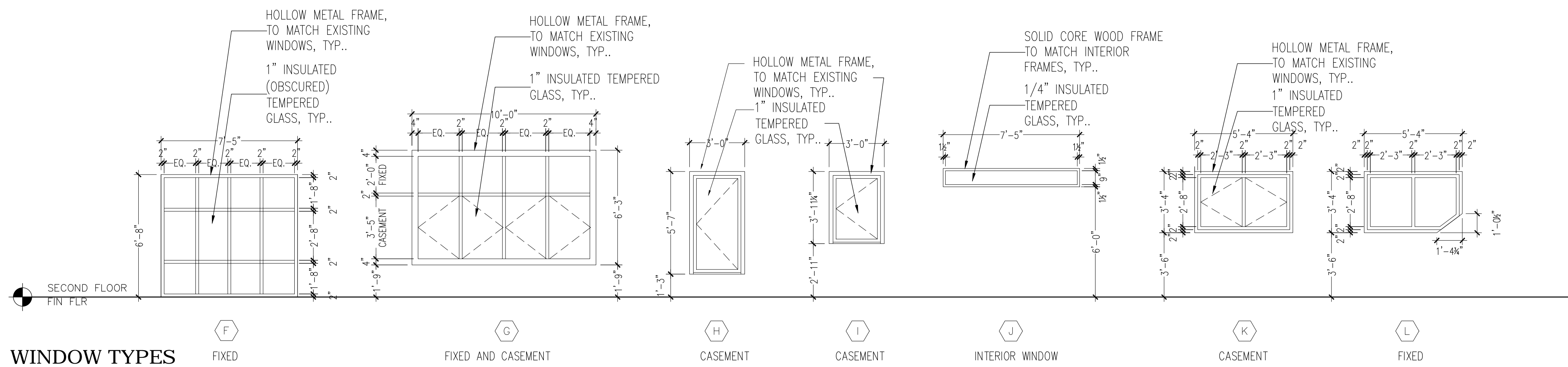
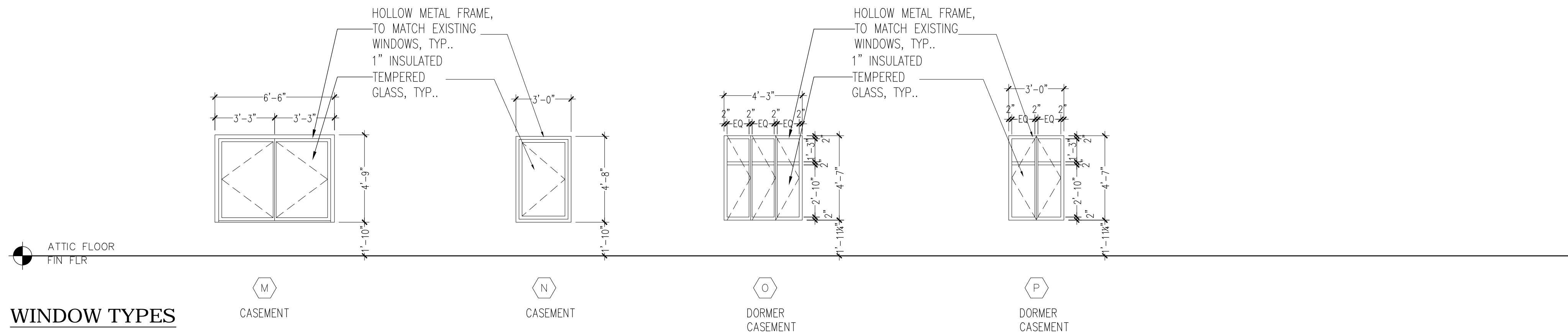
PROPOSED RESIDENTIAL EXPANSION
FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

DOOR SCHEDULE

DRAWN XXXX
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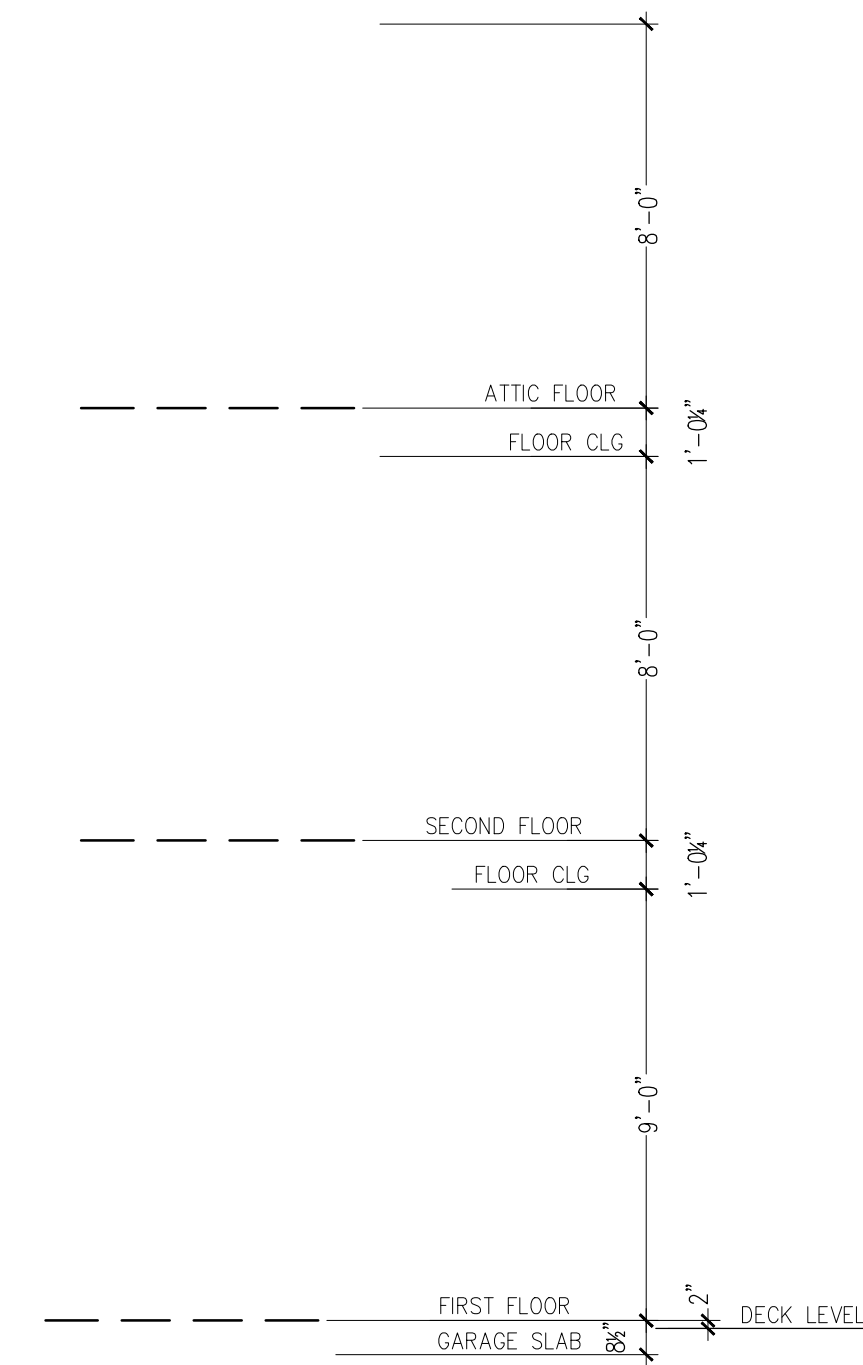
A-10

NOT RELEASED FOR CONSTRUCTION



WINDOW TYPES

GLAZING TO CONFORM WITH SEC. R308 OF THE IRC, 2018 EDITION.



ATTIC FLOOR FIN FLR

SECOND FLOOR FIN FLR

FIRST FLOOR FIN FLR

DECK LEVEL FIN FLR

1150 LAKE HEARN DRIVE - SUITE 150
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PROPOSED RESIDENTIAL EXPANSION FOR RAVI DURAIRAJ
4825 FRANKLIN POND ROAD
SANDY SPRINGS, GA 30342

WINDOW SCHEDULE

DRAWN XXXX
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SCALE N/A
JOB NO. 00000
SHEET

A-11

NOT RELEASED FOR CONSTRUCTION

Board of Appeals

February 4, 2026



SANDY SPRINGS
GEORGIA

V-25-60

4825 Franklin Pond Road

STAFF RECOMMENDATION:
Approval with a Condition

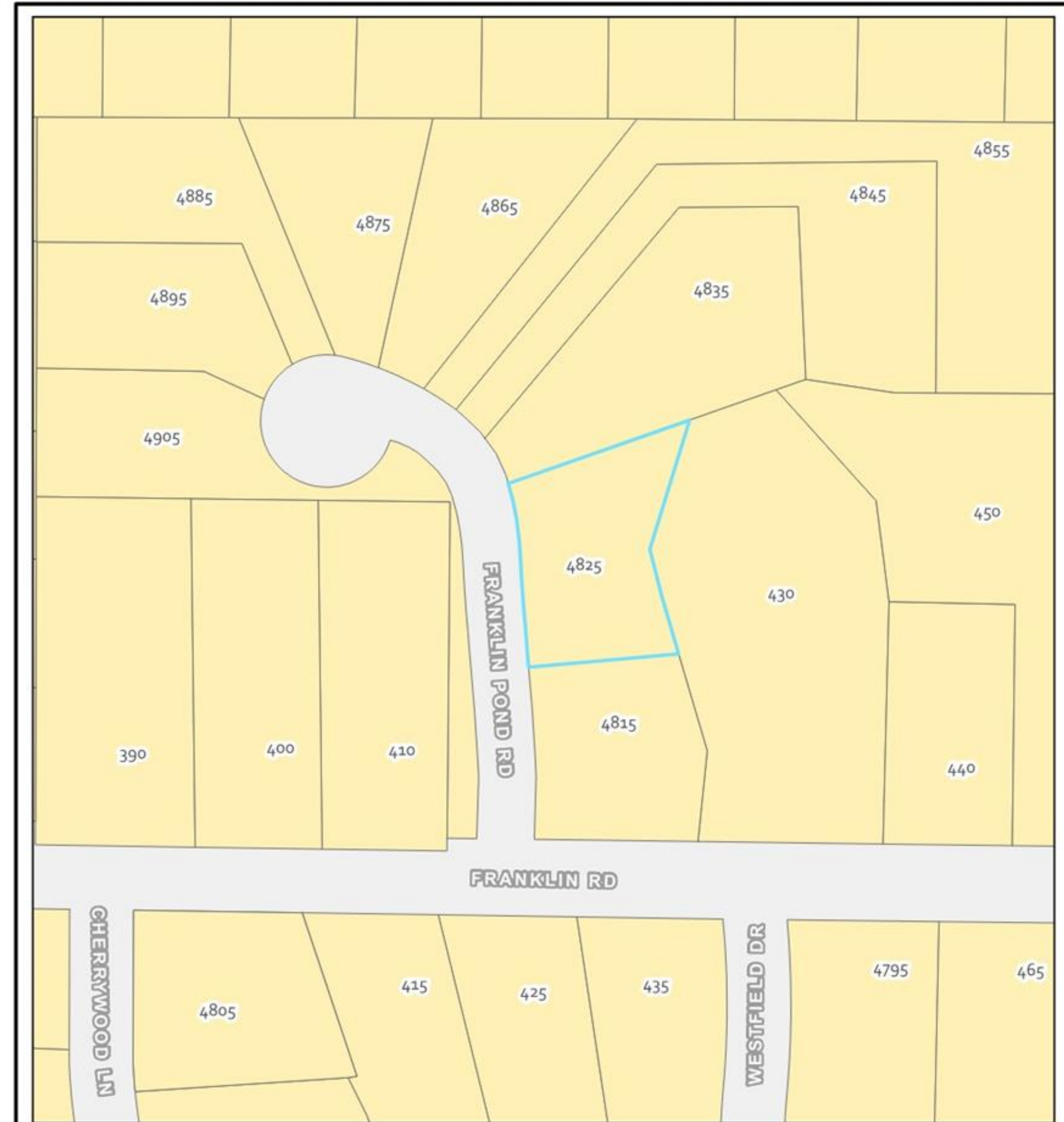


SANDY SPRINGS
GEORGIA

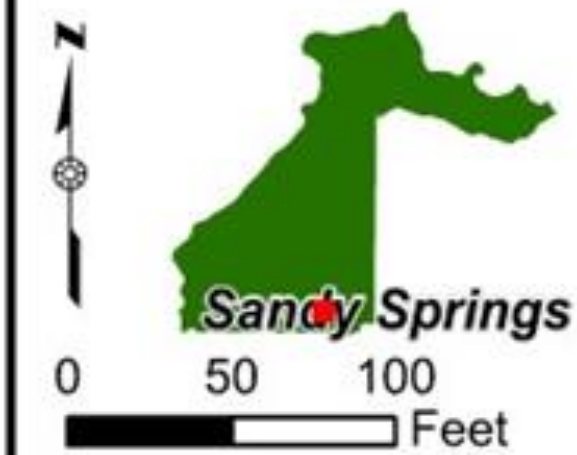
Request



- A request for a Variance from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.

Character Area Map

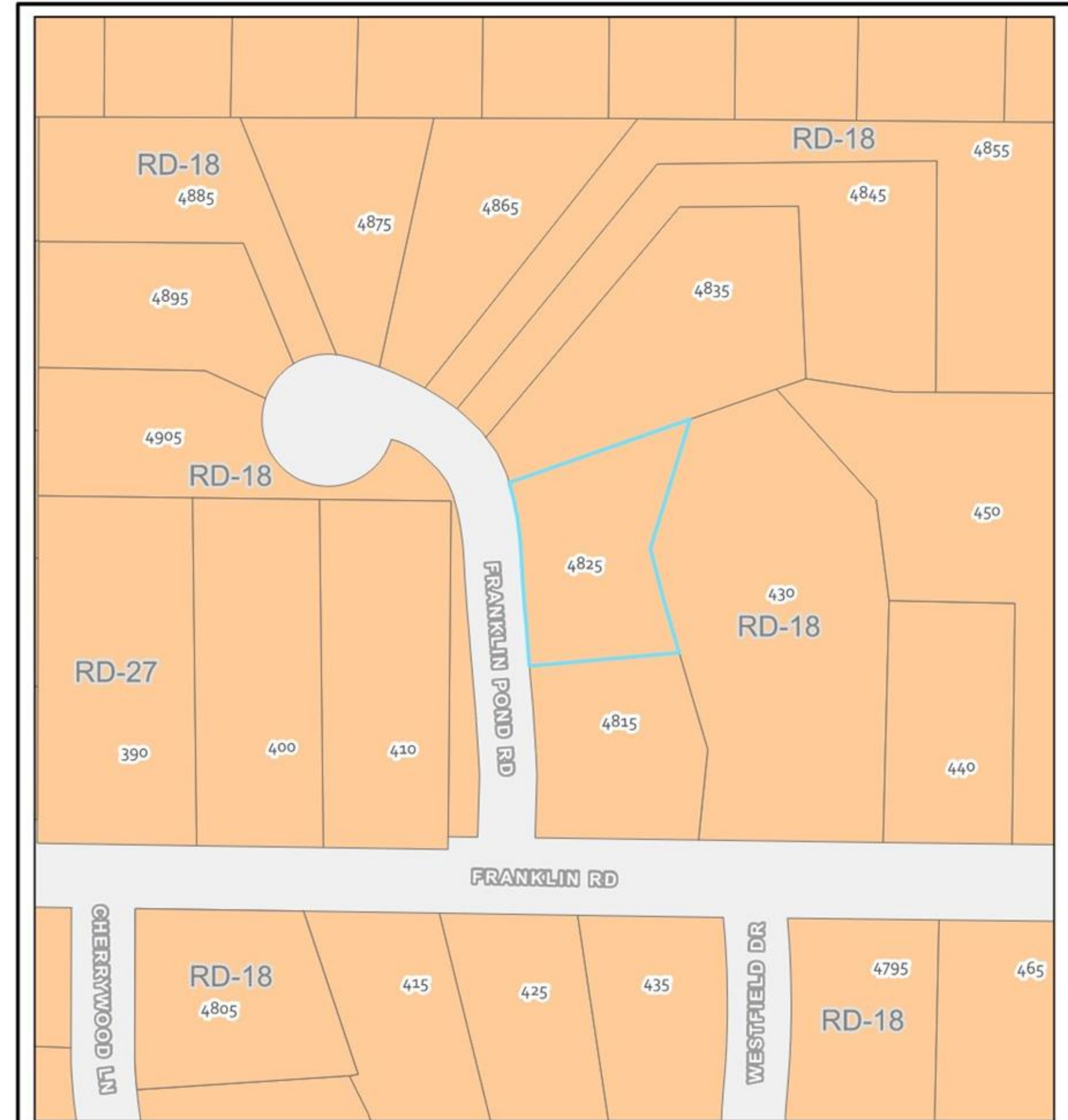


4825 FRANKLIN POND ROAD

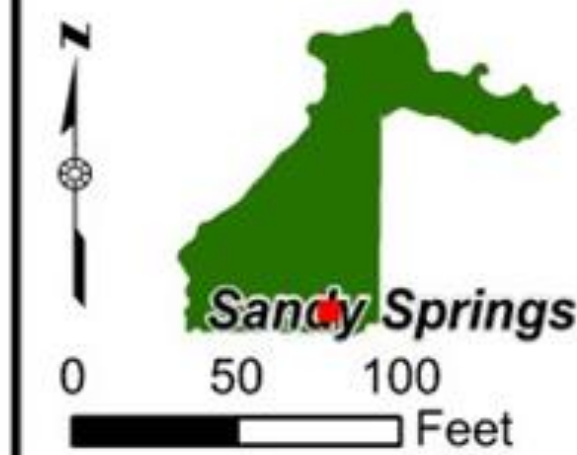




-  4825 Franklin Pond Road
- Character Areas**
-  Protected Neighborhood

Zoning Map



4825 FRANKLIN POND ROAD



-  4825 Franklin Pond Road
- Zoning (Adopted 8-15-2017)**
-  RD - RESIDENTIAL DETACHED

Aerial Image



Existing Conditions

- The 0.67-acre subject property is developed with a 2-story single family home, 2-car garage, porch and a rear screened porch and decks.
- The property is zoned RD-18 for Residential Detached – 18,000 square foot minimum lot size. According to Fulton County tax records, the home was built in 1988, and the current homeowners purchased the property in 2005.
- According to the survey provided, the north portion of the property is encumbered with a stream and its associated buffers making approximately 12,560 square feet of the 1,800 square foot lot unbuildable without a variance. It slopes from the south-southeast to the north-northeast with steep slopes draining into the stream discharging and draining to the northeast along the northern property line. The trapezoidal shaped lot is within the Nancy Creek Declared Sensitive Area and is east of Franklin Pond Road.
- The current building/home is considered a legal nonconforming structure where the home encroaches into the 50-foot primary street setback by approximately 16 feet and encroaches into the 35-foot rear setback by approximately seven (7) feet. The lot would not be buildable with a reasonable sized home if there were strict adherence to the Development Code. Most improvements to this property would necessitate a variance.

Existing Conditions



View of front of home facing east on Franklin Pond Road



View of garage facing east on the driveway

Existing Conditions



View of rear screened porch and deck to be demolished



View of existing rear porch

Existing Conditions



View of slope and partial rear deck standing on Franklin Pond Road facing northeast

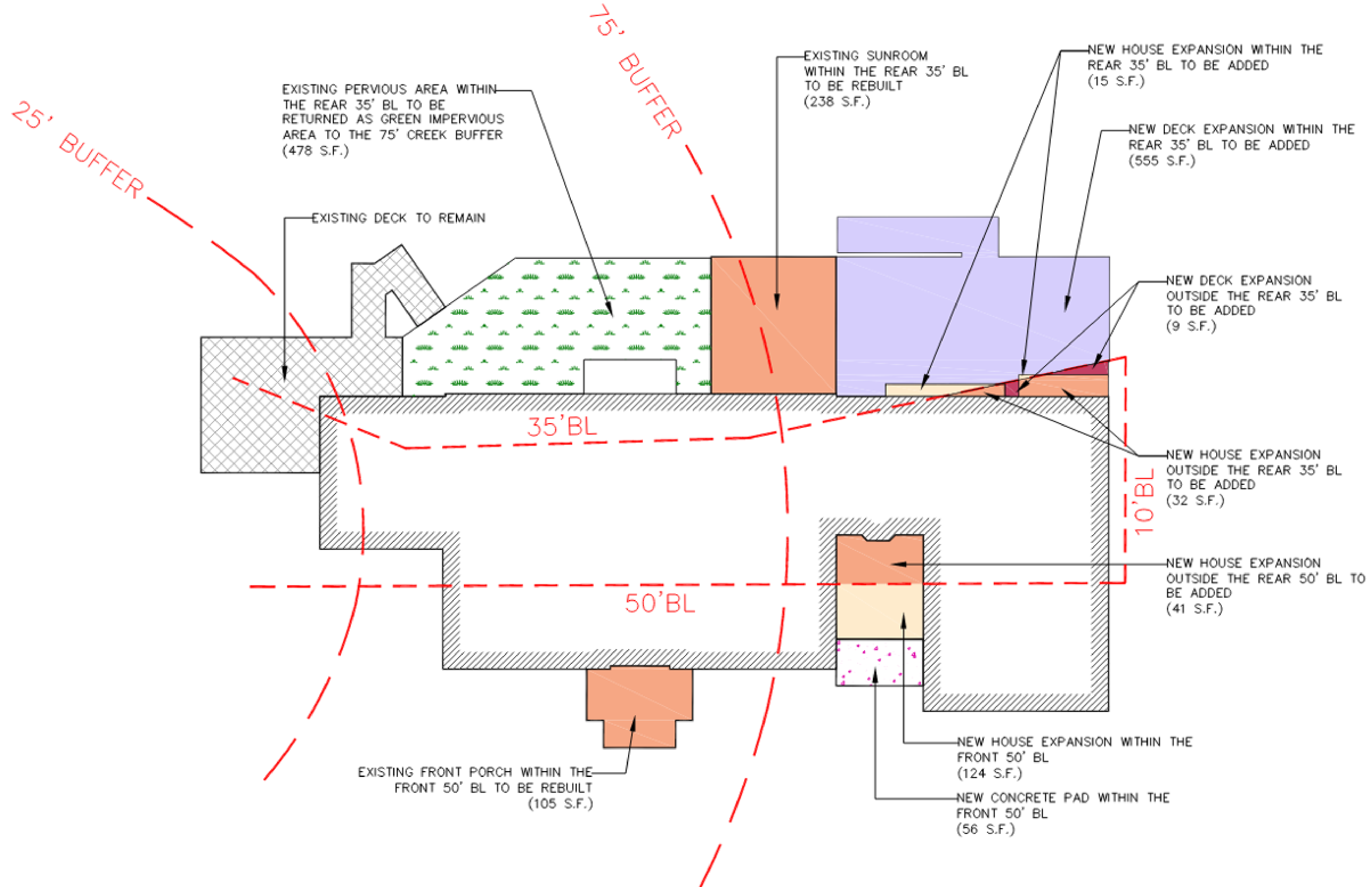


View of rear yard facing south

Variance Request

- ***In the primary street setback***, the applicants are proposing to enclose and expand the front of the home by approximately 100 SF to create a mudroom. 55 square feet of the mudroom is proposed to be within the setback. With an addition of a second floor this increases the nonconformity. The existing front porch (102 SF) will be demolished and replaced with a new front porch.
- ***In the rear setback***, the proposal includes demolishing the 967 square foot wood deck that includes a sunroom and screen porch and replacing it with a new 671 square foot sunroom and deck. This development decreases the amount of impervious surfaces. The applicants are also proposing to add 478 square feet of green impervious area within the setback.
- **Per the Sandy Springs Development Code sec. 11.7.2.B.3 Nonconforming Structures – Continuance** - No new nonconformity may be created by an expansion, alteration or rebuilding.
- **Per the Sandy Springs Development Code sec. 6.1.2.B. Setback Encroachment** - All building and structures must be located at or behind the required setback.

Proposed Development



PROPOSED FIRST FLOOR AREAS OF HOUSE AND DECK EXPANSION AREAS WITHIN AND OUTSIDE FRONT AND REAR BUILDING LINES

Variance Considerations:

a. The variance request would not result in negating the general intent of this Development Code or with the Comprehensive Plan policies;

The proposal maintains the existing low-density residential use and supports environmental protection objectives consistent with the Comprehensive Plan. The intent of the Development Code setback is to ensure building placement, protect neighborhood character and limit impacts to adjacent properties. Staff acknowledge that the existing home is legally nonconforming, the subject property is significantly constrained by a stream and associated buffer which renders a substantial portion of the lot unbuildable without a variance. The proposal includes a limited expansion of the existing nonconforming structures however it also removed a large portion of the existing rear deck resulting in a net reduction of impervious surface while also adding new pervious green space. Staff find that the variance request does not negate the general intent of the Development Code or conflict with Comprehensive Plan policies.

d. Because of the particular physical surroundings, shape, size, or topographical conditions of the specific property involved, an extraordinary hardship would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;

The particular physical surroundings, shape, size, and topographical conditions of the property, strict compliance with the Development Code would result in an extraordinary hardship. The applicants would be unable to reasonably expand or improve the home while accommodating environmental considerations. These unique site conditions create a practical difficulty that justifies relief from the Development Code

Recommendation

- Staff recommends **Approval** for relief from Sec. 11.7.2.B.3. and Sec. 6.1.2.B. to expand and alter nonconforming structures in the 35-foot rear setback and 50-foot primary street setback.
 1. That construction be substantially similar to the site plan provided with this application.

