



SANDY SPRINGS
GEORGIA

P&Z STAFF REPORT

Board of Appeals Meeting, December 2, 2020

Case: **V20-0037 – 8030 Monticello Drive NE**
Staff Contact: Madalyn Smith (msmith@sandyspringsga.gov)
Report Date: November 20, 2020

REQUEST

Request for a Variance from Sec. 2.2.2. to allow a garage to encroach 12 feet into the side common lot line building setback at 8030 Monticello Drive NE.

APPLICANT

Property Owner: Jennifer Taylor	Petitioner: Jennifer Taylor	Representative: N/A
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SUMMARY

The applicant requests a Variance to allow a garage to encroach 12 feet into the side common lot line building setback. The subject property is one (1) acre smaller and 50 feet narrower than the required lot width for the RE-2 District.

RECOMMENDATION

Department of Community Development

Staff recommends **Approval** of **Variance** V20-0037.

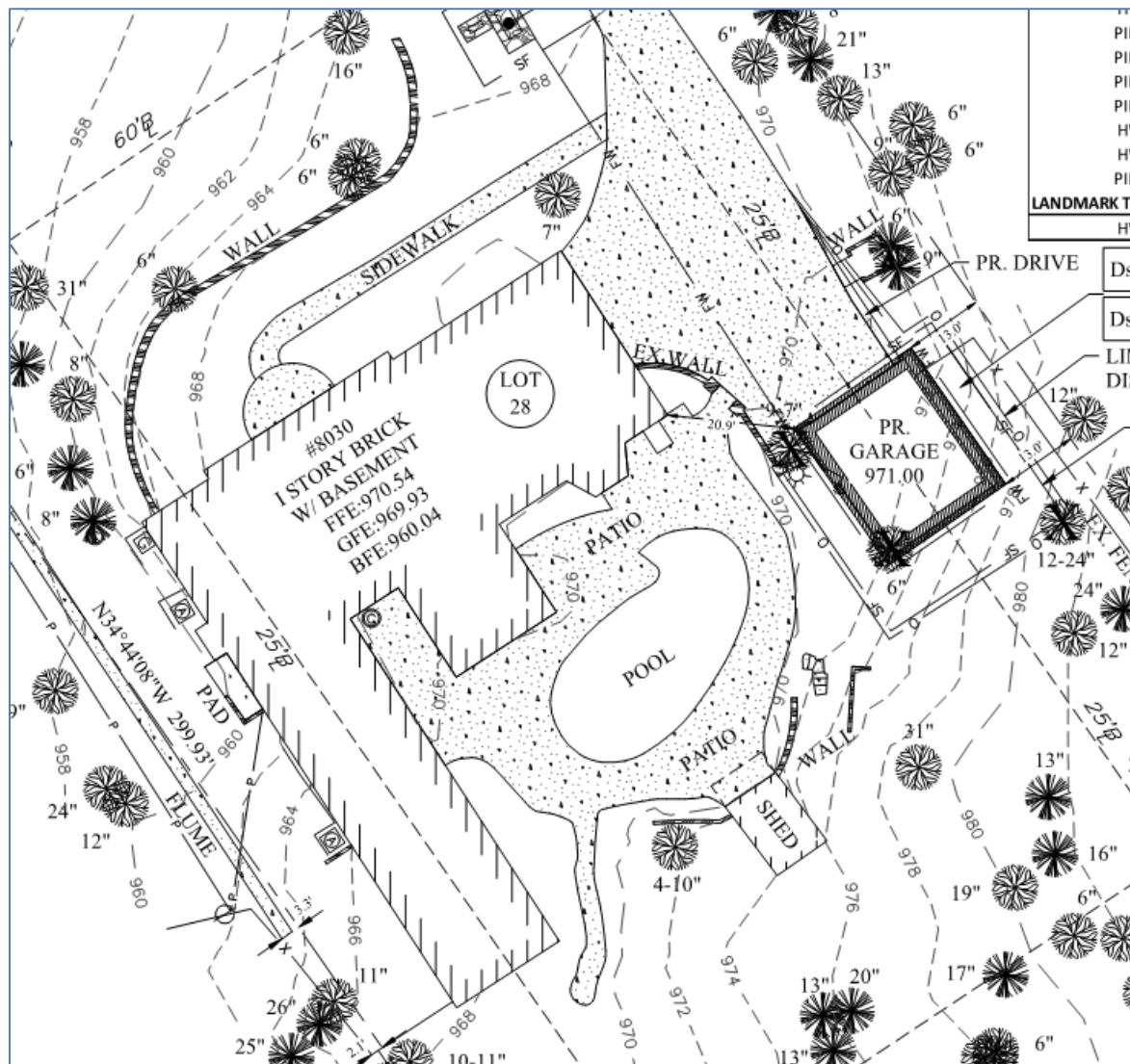
MATERIALS SUBMITTED AND REVIEWED

Materials:

1. Application, received September 30, 2020
2. "Survey" prepared by Boundary Zone Inc, dated August 4, 2020, received September 30, 2020
3. "Site Plan," prepared by Boundary Zone Inc, dated August 4, 2020, received September 30, 2020
4. "Construction Drawings," prepared by Chip Murrah, dated August 1, 2020, received , 2020

PROPERTY INFORMATION	
Location:	8030 Monticello Drive NE (Parcel #06 035100010084)
Council District:	1 – John Paulson
Road frontage:	Approximately 149.70 feet of frontage on Monticello Drive NE
Acreage:	Approximately 1.03 acres
Current Zoning:	RE-2 (Residential Estate, 2 acre minimum lot size)
Existing Land Use:	Single unit detached residential unit
Previous Zoning Case:	N/A
Character Area:	Protected Neighborhood

SITE PLAN (received September 30, 2020) (full size Site Plan in Package)



PROPOSED DEVELOPMENT

The subject lot is in the Mount Vernon Country Club Estates subdivision and currently developed with a single unit detached residence with a pool in the rear. The existing lot, house, and accessory structures predate the City's Development Code. The homeowner proposes to construct a one (1)-story, two (2)-car detached garage at the end of the existing driveway. The existing lot coverage is 24%, while the proposed lot coverage is 26%, which exceeds the maximum of 25% in RE-2. However, this one (1) percent excess is allowed if properly mitigated, as per the Development Code. The proposed structure would encroach 12 feet into the required 25-foot side common lot line building setback.

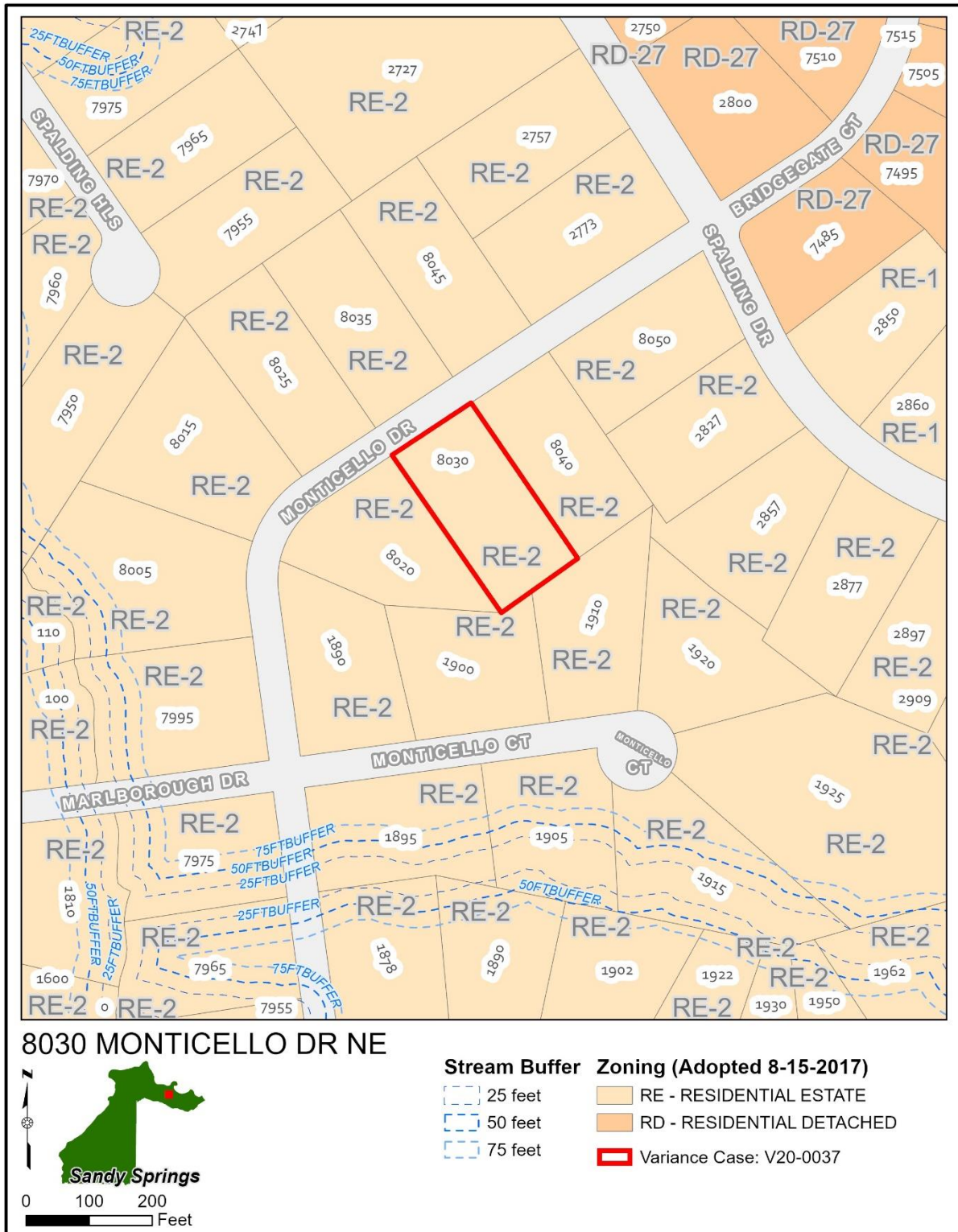
EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY

Location relative to subject property	Zoning / Land use	Address(es)	Land area (acres) (approximate)
North	RE-2 / Single Unit Detached Residence	8045 Monticello Drive NE	1.08
East	RE-2 / Single Unit Detached Residence	8050 Monticello Drive NE	1.01
South	RE-2 / Single Unit Detached Residence	1900 Monticello Court NE	0.99
West	RE-2 / Single Unit Detached Residence	8020 Monticello Drive NE	1.01
PROPOSED DEVELOPMENT			
--	RE-2 / Single Unit Detached Residence	8030 Monticello Drive NE	1.03

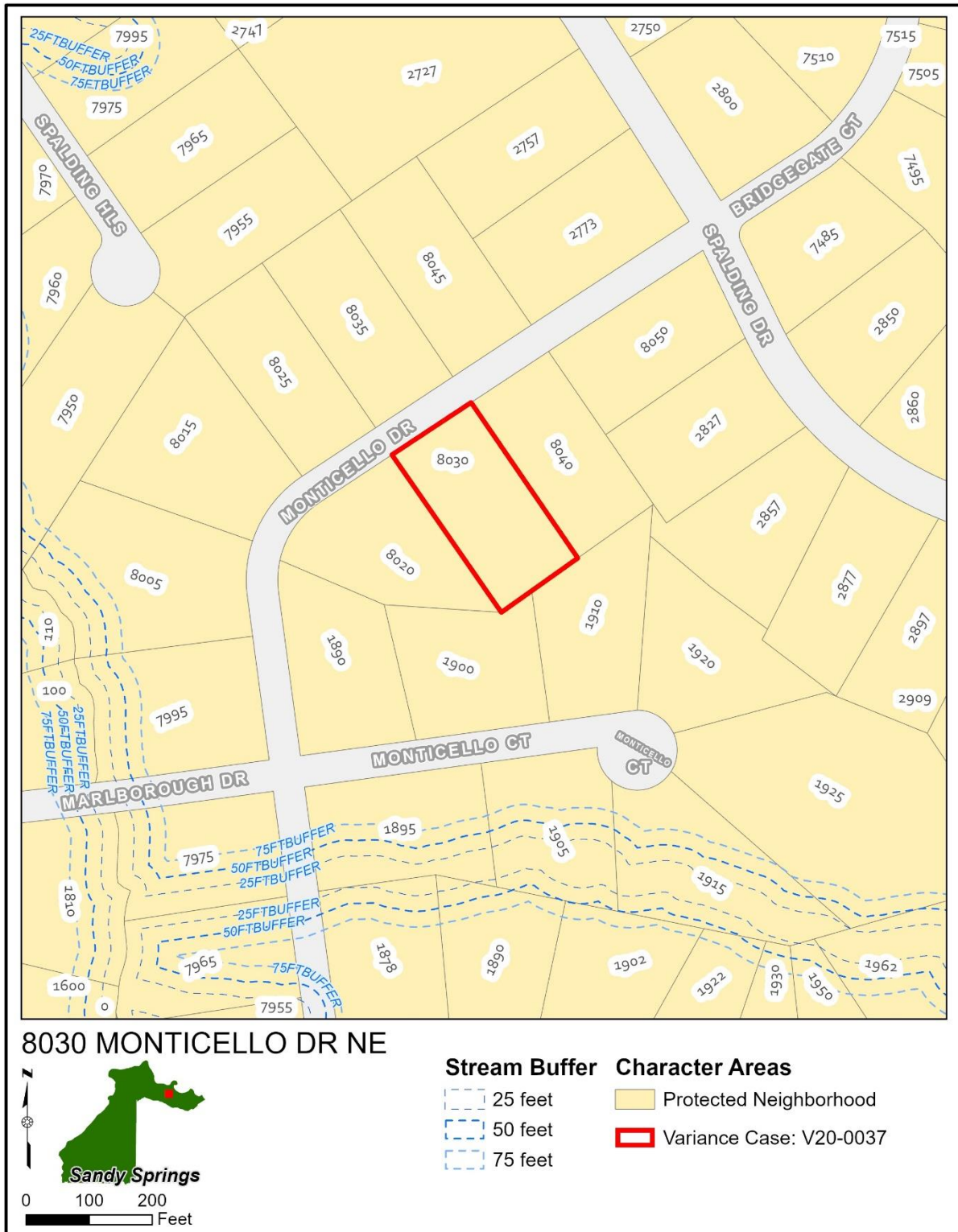
AERIAL IMAGE



ZONING MAP



CHARACTER AREA MAP



VARIANCE CONSIDERATIONS
Per Sec. 11.3.6.G. of the Development Code, the following list of approval criteria for a Variance provides guidance for making decisions on approval:
1. Variances will only be granted upon showing that: a. The application of this Development Code would create an unnecessary hardship, and not merely an inconvenience to the applicant; or b. There are extraordinary and exceptional conditions due to the size, shape, or topography, which are specific to the subject property and not generally found in similar properties; Finding: The greatest challenge for this property is the lot area and shape. The subject property is significantly deficient in both required lot area and width for the RE-2 District. RE-2 requires a minimum lot size of two (2) acres and a minimum lot width of 200 feet. The subject property is 1.03 acres and 149.70 feet wide. The configuration of the lot as it exists is legally nonconforming, but the 25-foot side common lot line building setbacks are intended for lots at least 50 feet wider and one (1) acre larger than the subject property. Based on the actual lot dimensions, this property would typically be in the RE-1 District.
2. Further, the application must demonstrate that: a. Such conditions are not the result of action or inaction of the current property owner; and Finding: The conditions are not due to action or inaction of the property owner
b. The Variance request would provide the minimum relief necessary to make possible the reasonable use of the property; and Finding: The proposed garage is 13 feet from the side property line. In the RE-1 District, the required side common lot line building setback is 15, rather than 25, feet. If the applicant shifted the proposed garage to be 15 feet from the side property line, the driveway would need to be reconfigured to access the new garage. This would require a turnaround in the side common lot line building setback, which, due to the topography, would likely require retaining walls and grading. Grading and retaining walls would violate the grading and retaining wall regulations, prompting a different Variance request. If the applicant moved the proposed garage to the rear yard in the buildable area, the additional impervious surface would likely exceed what is allowed, even with the additional five (5) percent maximum lot coverage allowed with mitigation. It would also likely require greater disturbance, additional retaining walls, and the removal of several 13- to 31-inch pine and hardwood trees. For these reasons, Staff finds the request to be the minimum relief necessary.
c. The Variance request would result in development that is consistent with the general intent of this Development Code, with the Comprehensive Plan policies, and would not be detrimental to the public good, safety and welfare. Finding: The proposed location minimizes land disturbance and tree removal, and the proposed garage would allow the applicant to make an improvement to the property. This supports intent of the Development Code, which includes ensuring conservation of land and natural resources, promoting the preservation and enhancement of the City's tree canopy, and guiding reinvestment in established neighborhoods that preserves and reinforces their unique characteristics. Garage additions are a common improvement in Sandy Springs, as the number and size of cars people own has increased over the years. The neighbor adjacent to the proposed garage has expressed their approval. For these reasons, Staff believes the requested Variance would not be detrimental to the public good, safety, and welfare.

COMMENTS FROM OTHER PARTIES
Sandy Springs Transportation Engineer: No comment provided. Sandy Springs City Engineer: No comment provided. Sandy Springs Arborist: No comment provided. Sandy Springs Sustainability Manager: No comment provided. Sandy Springs Building Official: No comment provided. Correspondence Received: Two (2) comments were submitted in writing by neighboring property owners expressing their support of the request.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION
Following review, and based on the findings, Staff recommends Approval of Variance V20-0037, request for a Variance from Sec. 2.2.2. to allow a garage to encroach 12 feet into the side common lot line building setback at 8030 Monticello Drive NE, subject to the following condition: 1. The intrusion be limited to that shown on the “<i>Site Plan</i>,” prepared by Boundary Zone Inc., and dated August 4, 2020, received September 20, 2020.



VARIANCE APPLICATION

(Excludes Stream Buffer Variances)

Application Checklist:

Page No.	Item	Completed/ Included in Submittal
1	Project Information Sheet	☒
2-3	Detailed Process and Instructions	N/A
4-5	Authorization Forms	☒
6	Letter of Intent	☒
6-7	Variance Analysis	☒
7	Chattahoochee River Corridor Certificate	☐ or N/A ☒
7-8	8½" x 11" copy of Survey	☒ filed electronically
7-8	8½" x 11" copy of Site Plan	☒ filed electronically
7-8	11" x 17" copy of Survey	☒ filed electronically
7-8	11" x 17" copy of Site Plan	☒ filed electronically
7-8	Two (2) full-scale copies of Survey	☒ filed electronically
7-8	Two (2) full-scale copies of Site Plan	☒ filed electronically
7	8½" x 11" copy of Legal Description (must be in Word format)	☒
	11" x 17" copy of Elevations and/or Sections	☐ or N/A ☒
9	Meeting Schedule	N/A
9	Fee Schedule	N/A
10	Sign Specifications	N/A
9	Fee Payment	☐
	All documents in electronic form (jump drive)	☒

The Director reserves the right to request additional information deemed necessary to analyze the request. Incomplete applications will not be accepted.

Planner's initials: _____



SANDY SPRINGS™
GEORGIA

Case No.: _____
Planner's initials: _____

PROJECT INFORMATION SHEET

PROPERTY	Address(es): 8030 Monticello Drive, Atlanta, GA 30350	
	Parcel Tax ID: 06 -0351-0001-008-4	
	Land Lot(s):	Land District(s):
	Total acreage: 1.034 acres	Council district: #1, John Paulson
	Current zoning: RE2	Current use: Single Family Home
	Character Area: Protected Neighborhood	

APPLICATION	Detailed request (include Ordinance/Code Section No.):	
	Requesting a variance of my NE side setback from 25' to 13'.	
	This is a variance of section 2.2.2	
	We intend to add a small 2 car garage to hold 2 additional vehicles and lawn/garden tools.	
	Petitioner: Jennifer S. Taylor	
Petitioner's address: 8030 Monticello Drive, Atlanta, GA 30350		
Phone: [REDACTED]		

OWNER	Property owner: Jennifer S. Taylor and Robert G Taylor	
	Owner's address: 8030 Monticello Drive, Atlanta, GA 30350	
	Phone: [REDACTED]	
	Signature (authorizing initiation of the process): <i>Jennifer S Taylor</i>	
If the property is under contract, provide a copy of the contract		

- TO BE FILLED OUT BY P&Z STAFF -

Pre-application meeting date:	Anticipated application date:
Anticipated BOA date:	
ADDITIONAL INFORMATION NEEDED:	



AUTHORIZATION FORM – PART I

A- The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the authorization form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.	
Owner's name: <u>R. Geoff Taylor & Jennifer S. Taylor</u>	Sworn and subscribed before me this
Address: <u>8030 Monticello Dr.</u>	<u>11</u> day of <u>August</u> 20 <u>20</u>
City, State, Zip Code: <u>Atlanta, GA 30350</u>	Notary public: <u>Morufat Ayemobola</u>
Email address: [REDACTED]	Seal:
Phone number: [REDACTED]	MORUFAT AYEMOBOLA NOTARY PUBLIC Cherokee County State of Georgia My Comm. Expires May 12, 2024
Owner's signature: <u>[Signature]</u>	
Commission expires: <u>MAY 12, 2024</u>	

B- If the applicant is *not* the owner of the subject property:

Fill out the following section, check the appropriate statement, and have it notarized.

Applicant states under oath that:	
☐ He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or ☐ He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or ☐ He/she has an estate of years which permits the applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this
Company name:	
Address:	_____ day of _____ 20__
City, State, Zip Code:	
Email address:	Notary public:
Phone number:	
Applicant's signature:	
Seal:	
Commission expires:	

TAYLOR

August 8, 2020

LETTER OF INTENT: Taylor 8030 Monticello Dr, Sandy Springs, GA 303050

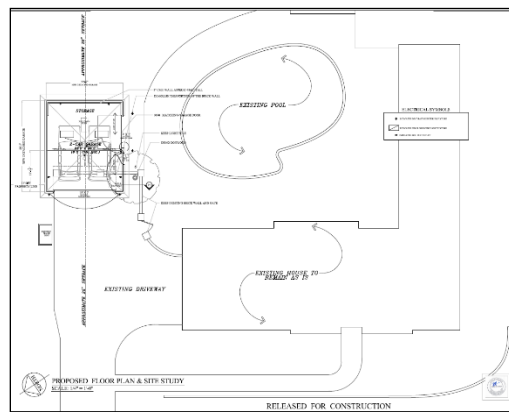
Sandy Springs BOA,

We request a variance from section the development code section 2.2.2 to add a new two-car detached garage to our property.

- *Address is 8030 Monticello Drive, Atlanta, GA 30350. Our total acreage is 1.034 acres. We are zoned RE2, which requires a 25' setback from our NE side lot line. Current lot width is 149.67'.*
- *We are asking for a variance to place the garage 13' from our NE side property line. This would allow us to put it at the most logical place at the flat area at the top of the existing driveway. Additionally, any closer to the house would require removal of two mature trees, the brick wall surrounding the pool, and would overlap with existing stone pool deck.*

There is a mature forest in the back of our lot and that area is at the top of a 25' incline. There is no real scenario that would make sense in putting a garage so far away from the main house, and having to remove the beautiful trees to do so.

- *Garage is proposed as one-story detached building, in the same style as our existing roof, which is considered pyramid style or "hip roof." Proposed garage is 22' by 26' or 572 sq ft.*



We intend to improve our property and add value to the neighborhood, while allowing us to get our teenager's car out of our driveway and under cover.

Sincerely,

Jennifer and Geoff Taylor

TAYLOR

August 15, 2020

VARIANCE ANALYSIS: 8030 Monticello Drive, Sandy Springs, GA 30350

Sandy Springs BOA

a. The application of the Development Code would create an unnecessary hardship, and not merely an inconvenience to the petitioner; or

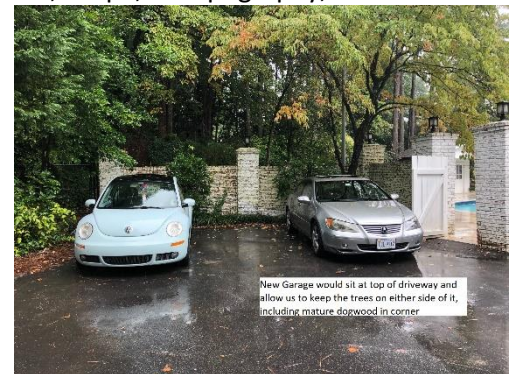
This hardship has been caused by the RE2 distinction, although we do not meet the lot minimum width of 200' (lot width is 149.67') nor 2-acre lot size (lot size is 1.034 acres) as established in the development code for an RE2 lot.

b. There are extraordinary and exceptional conditions due to the size, shape, or topography, which are specific to the subject property and not generally found in similar properties;

In order to fit 2 cars the minimum width of the garage required is 22'7". To meet the 25' setback provision this would push the new garage into the existing structure, onto existing pool deck, and force us to remove two mature trees.



We considered a one car garage addition, but not only would it not look right (would look more like a shed) even that would not fit with the current RE-2 provisions. Additionally there is no other place on the lot to put the additional garage that would meet the current zoning requirements, given the back yard is up a steep incline and is a mature canopy.



Further, the application shall demonstrate that:

c. Such conditions are not the result of action or inaction of the current property owner; and
We have not altered the property in any way in this area, except to repair and add lighting. The Zoning was changed to RE-2 in 2017. We have tried very hard to be good stewards to the property, since we moved here from Virginia in 2003.

d. The variance request would provide the minimum relief necessary to make possible the reasonable use of the property; and
The architect and I have looked at the existing space and designed the minimum structure in keeping with the existing house, and fitting with the character of our existing neighborhood. The 13' variance request allows for minimum disruption to the existing land, it is where there is a natural flat (grotto/ flat area before incline to backyard), is directly at the top of the existing driveway, and preserves the trees surrounding the driveway and house.

e. The variance request would result in development that is consistent with the general intent of the Development Code, with the Comprehensive Plan policies, and would not be detrimental to the public good, safety and welfare.

This addition is in keeping with the style of this very beautiful established neighborhood and is similar in direction of the investment other neighbors have made/are making.

*Thank you for your time and consideration,
Jenn and Geoff Taylor*

Photos of Marlborough Estates

TAYLOR HOME: 8030 Monticello from street and top of driveway



8020 Monticello (next door)



Neighbors Old Dominion



Other Neighbors in Marlborough Estates:



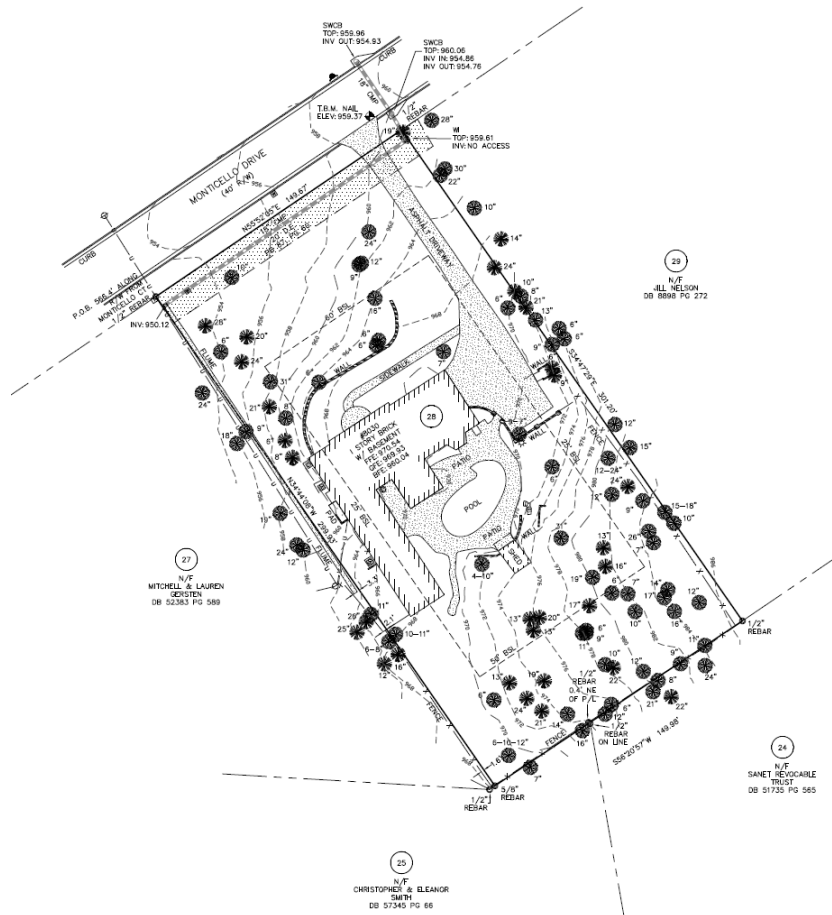
LEGAL DESCRIPTION IN SEPARATE WORD DOC (also below)

LEGAL DESCRIPTION: 8030 MONTICELLO DRIVE, ATLANTA, GA 30350

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 351, 6TH DISTRICT, FULTON COUNTY, GEORGIA, BEING LOT 28, BLOCK "C", UNIT 3 OF MOUNT VERNON COUNTRY CLUB ESTATES S/D, AS SHOWN ON A PLAT OF SURVEY RECORDED IN PLAT BOOK 87, PAGE 60, FULTON COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A POINT AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF MONTICELLO DRIVE (50' R/W) WITH THE NORTHERLY RIGHT-OF-WAY LINE OF MONTICELLO COURT (50' R/W); THENCE LEAVING SAID INTERSECTION AND ALONG SAID RIGHT-OF-WAY LINE OF MONTICELLO DRIVE 566.4 FEET TO AN IRON PIN FOUND (1/2" REBAR), SAID POINT BEING THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING AS THUS ESTABLISHED; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE OF MONTICELLO DRIVE NORTH 55 DEGREES 52 MINUTES 05 SECONDS EAST A DISTANCE OF 149.67 FEET TO AN IRON PIN FOUND (1/2" REBAR); THENCE LEAVING SAID RIGHT-OF-WAY LINE SOUTH 34 DEGREES 47 MINUTES 29 SECONDS EAST A DISTANCE OF 301.20 FEET TO AN IRON PIN FOUND (1/2" REBAR); THENCE SOUTH 56 DEGREES 20 MINUTES 57 SECONDS WEST A DISTANCE OF 149.98 FEET TO AN IRON PIN FOUND (5/8" REBAR); THENCE NORTH 34 DEGREES 44 MINUTES 08 SECONDS WEST A DISTANCE OF 299.93 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINING (1.034 ACRES 45,026 SQUARE FEET),



LETTER FROM NEIGHBOR - PROPOSED GARAGE NEAR SHARED LOT-LINE:

8/16/2020

Gmail - Garage Addition - Taylor, 8030 Monticello Drive, 30350



Jennifer Taylor <jenntaylorhome@gmail.com>

Garage Addition - Taylor, 8030 Monticello Drive, 30350

1 message

Jill Nelson <[REDACTED]>
 To: madalyn.smith@sandyspringsga.gov
 Cc: Jennifer Taylor <[REDACTED]>

Sun, Aug 16, 2020 at 11:36 AM

Sandy Springs BOA,

My name is Jill Nelson and I am the next-door neighbor to Jennifer and Geoff Taylor. We live at [8040 Monticello Drive](#) and they are at 8030 Monticello Drive. We have been in this neighborhood for 27 years.

In 2003 when Jenn & Geoff moved in, their ranch was not in such great shape. Over the years we've watched dumpster after dumpster in their driveway as they renovated every room. They completely overalled the front yard, with hard and soft landscaping and all new sod. They painted the house and trim, put on new shutters, new gutters and replaced the roof. We recently watched as they resurfaced their pool and pool deck.

Now as they embark on adding an extra garage at the top of the driveway on the side of the house that borders our lot line, we are excited they continue to make the neighborhood more beautiful.

As our Marlborough Estates has aged, thankfully most of our neighbors are maintaining and upgrading their property. The house next to Jenn and Geoff, on the other side, completed an addition several years ago to add another 2 car garage, and the home on the other side of us has a 3 car garage.

We ourselves put in a beautiful new driveway, upgraded our roof and shutters, put in copper gutters, and replaced all of the windows, to keep our curb-view in keeping with this ever changing neighborhood.

We heartily endorse the variance requested by Jenn and Geoff to place the new garage 13' from our lot line. Everything they do is in keeping with the style of this neighborhood, and we can see from their plans this will be no different.

Please feel free to call or write if you have any other questions for me.

All the best,

Jill Nelson,
[8040 Monticello Dr](#)
[Atlanta, GA 30350](#)
 [REDACTED]

APPENDIX:

PROTECTED NEIGHBORHOODS

§ 2.1.4

Div. 2.1. District Intent Statements

The Protected Neighborhoods districts are intended to maintain the integrity of existing single-family neighborhoods in Sandy Springs. By retaining the lot area of the former zoning of the City's residential areas, the Protected Neighborhoods districts help ensure that these single-family areas retain their existing character. The corresponding Character Area Map categories for each zoning district are provided in Sec. 1.2.1.

Sec. 2.1.1. Residential Estate Districts

The Residential Estate districts are intended for detached single unit residences on large lots. The districts also allow for limited civic, open space, and park uses. The districts include:

A. RE-2: Residential Estate

2 acre minimum lot size.

B. RE-1: Residential Estate

1 acre minimum lot size.

D. RD-12: Residential Detached

12,000 square foot minimum lot size.

E. RD-9: Residential Detached

9,000 square foot minimum lot size.

F. RD-71: Residential Detached

7,500 square foot minimum lot size.
(Ord. of 4-17-2018(3), § 2-1)

Sec. 2.1.2. Residential Detached Districts

The Residential Detached districts are intended for detached single unit residences on typical suburban lot sizes. The districts also allow for limited civic, open space and park uses. The districts include:

A. RD-27: Residential Detached

27,000 square foot minimum lot size.

B. RD-18: Residential Detached

18,000 square foot minimum lot size.

C. RD-15: Residential Detached

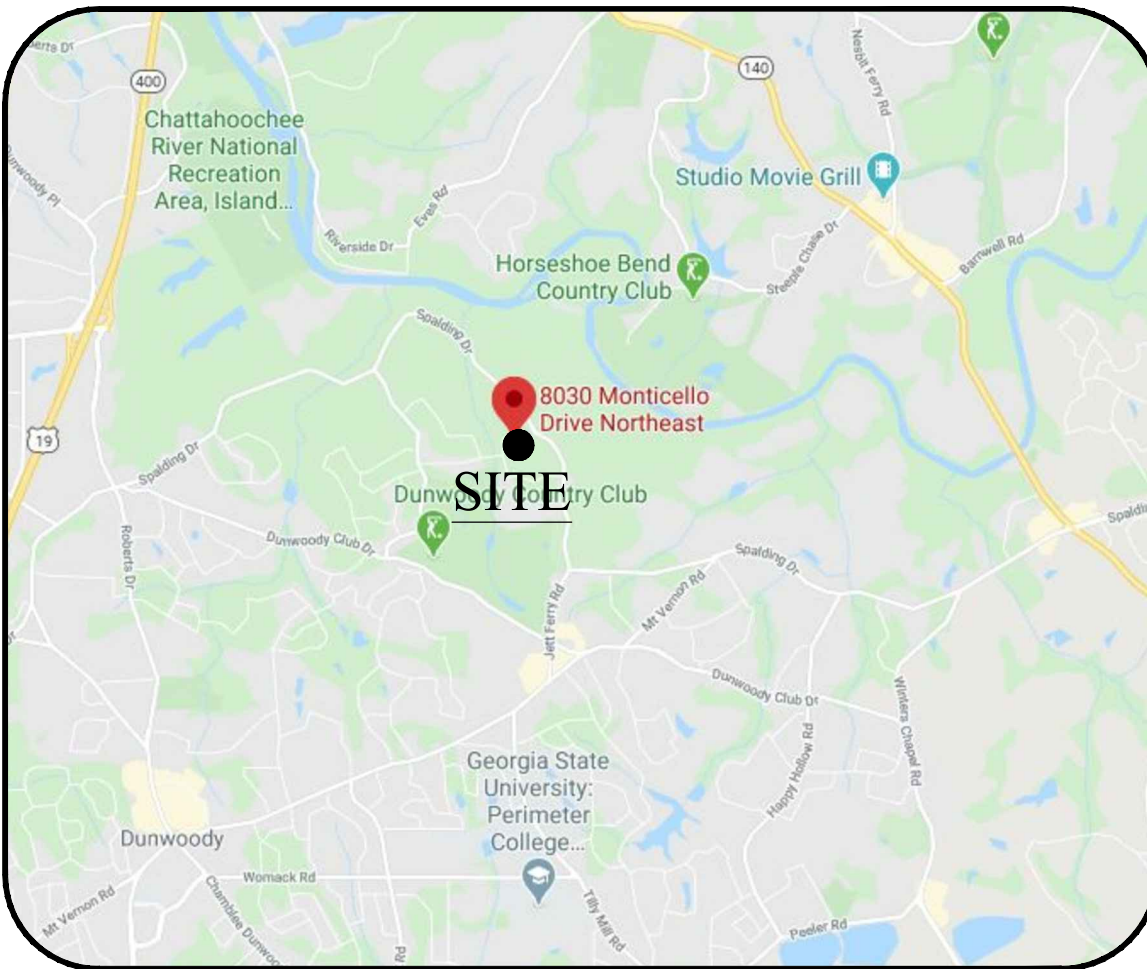
15,000 square foot minimum lot size.
No rezoning from another zoning district to RD-15 is allowed.

Sec. 2.1.3. Parks District

The Parks district is intended for publicly-accessible parks and active or passive recreational facilities.

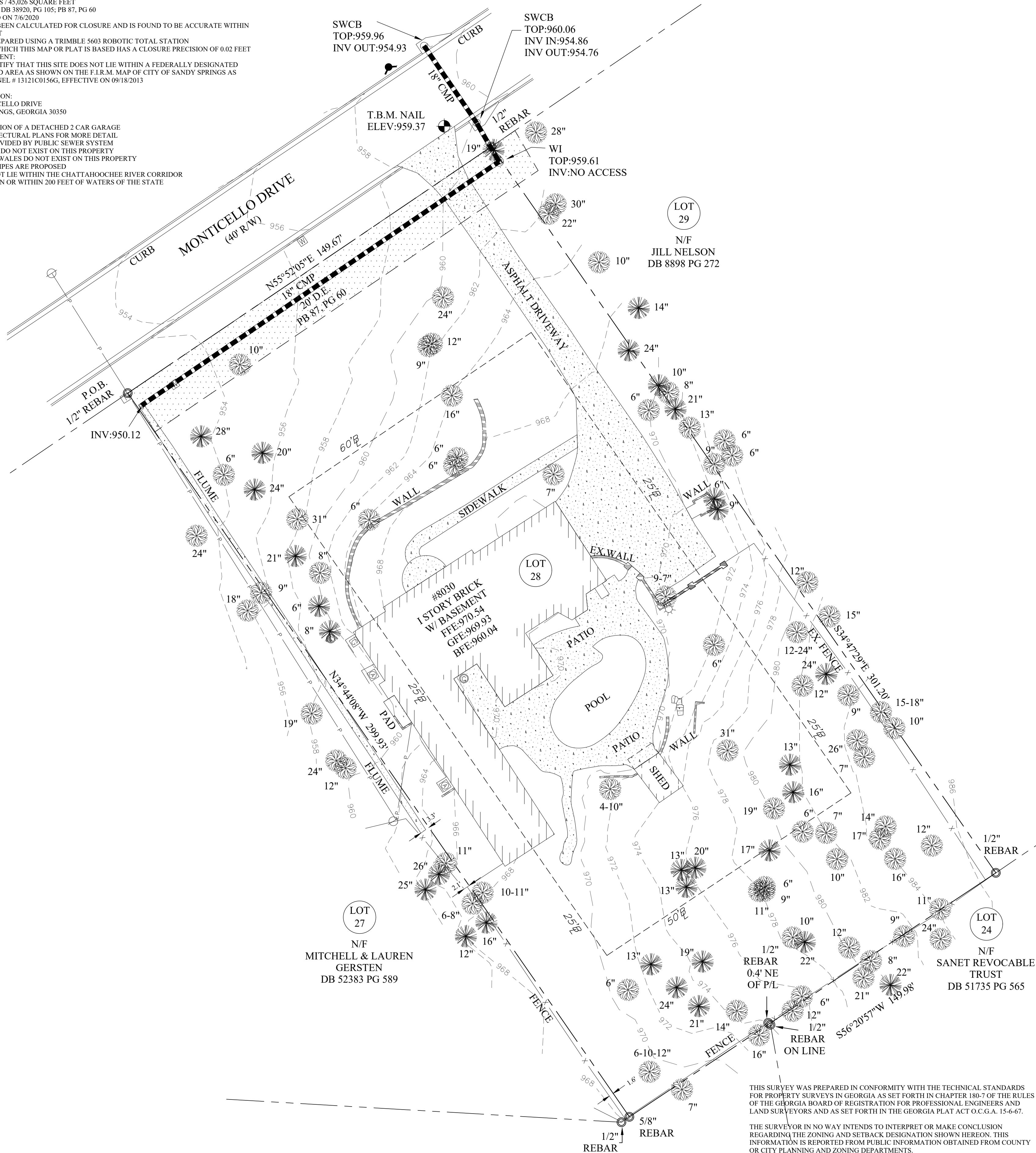
Sec. 2.1.4. Conservation District

The Conservation district is intended for land designated as permanent conservation, passive park or other open space. Lands within the district are intended to be predominantly unoccupied by buildings or parking.



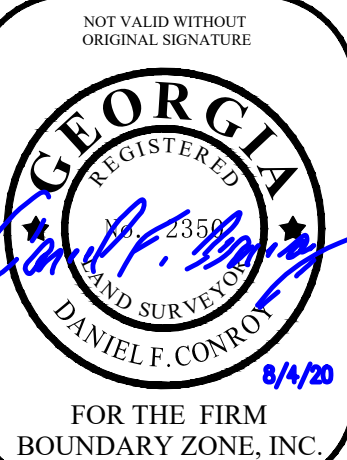
GENERAL NOTES:

- TOTAL AREA: 1.034 ACRES / 45,026 SQUARE FEET
- BOUNDARY REFERENCE: DB 38920, PG 105; PB 87, PG 60
- FIELDWORK PERFORMED ON 7/6/2020
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,856 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 0.02 FEET
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF SANDY SPRINGS AS SHOWN ON PANEL # 13121C0156G, EFFECTIVE ON 09/18/2013
- PROJECT NARRATIVE:
SITE LOCATION:
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
CONSTRUCTION OF A DETACHED 2 CAR GARAGE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
NO NEW STORM DRAIN PIPES ARE PROPOSED
THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE



DATE	8-4-20
REVISION	
NO.	1
NO.	2
NO.	3
NO.	4
NO.	5
NO.	6
NO.	7
NO.	8
NO.	9
NO.	10
NO.	11
NO.	12

EXISTING CONDITIONS SURVEY
PREPARED FOR: JENNIFER TAYLOR,
LOT 28, BLOCK "C", UNIT 3, MOUNT VERNON COUNTRY CLUB S/D
LAND LOT 351, 6TH DISTRICT
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
DATE 7/23/2020



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

© COPYRIGHT 2020 - BOUNDARY ZONE, INC.
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

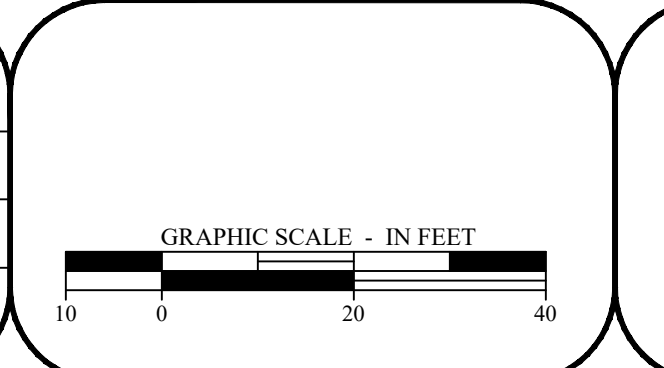
TOTAL AREA: 1.034 ACRES / 45,026 SQUARE FEET

BOUNDARY REFERENCE: DB 38920, PG 105; PB 87, PG 60
FIELDWORK PERFORMED ON 7/6/2020

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,856 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 0.02 FEET



- LEGEND:
- PROPERTY CORNER FOUND (AS NOTED)
 - 1/2" REBAR WITH CAP
 - SET LSF# 839
 - R/W MONUMENT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - POWER POLE
 - YARD DRAINS
 - SIGN
 - POWER METER
 - POWER BOX
 - ACC UNIT
 - LIGHT POLE
 - GUY WIRE
 - MANHOLE
 - CLEAN OUT
 - GAS METER
 - GAS VALVE
 - CABLE BOX
 - TELEPHONE BOX
 - W- WATER LINE
 - U- OVERHEAD UTILITY LINE
 - S- SEWER LINE
 - G- GAS LINE
 - C- CABLE LINE
 - T- TELEPHONE LINE
 - X- FENCE LINE
 - SF- SILT FENCE
 - O- TREE PROTECTION
 - HB HAY BALES
 - FW FLOW WELL LINE
 - NF NOW OR FORMERLY
 - R/W RIGHT-OF-WAY
 - BSL BUILDING SETBACK LINE
 - CNTL CANTILEVER
 - CR.Z. CRITICAL ROOT ZONE
 - S.R.P. STRUCTURAL ROOT PLATE (TYP.)
 - L.L. LAND LOT
 - CONC. CONCRETE
 - EOP EDGE OF PAVEMENT
 - 99- CONTOUR LINE
 - F.F.E. FINISH FLOOR ELEVATION
 - B.F.E. BASEMENT FLOOR ELEVATION
 - G.F.E. GARAGE FLOOR ELEVATION
 - 1008.0 GROUND ELEVATION
 - 1008.0 SURFACE ELEVATION
 - TW:1009.0 TOP OF WALL ELEVATION
 - BW:1009.0 BOTTOM OF WALL ELEVATION
 - TF:1009.0 TOP OF FOOTER ELEVATION
 - SF SILT FENCE
 - 6- DRAINAGE ARROW
 - HARDWOOD TREE
 - PINE TREE
 - X TO BE REMOVED

- THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.
- THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM COUNTY OR CITY PLANNING AND ZONING DEPARTMENTS.



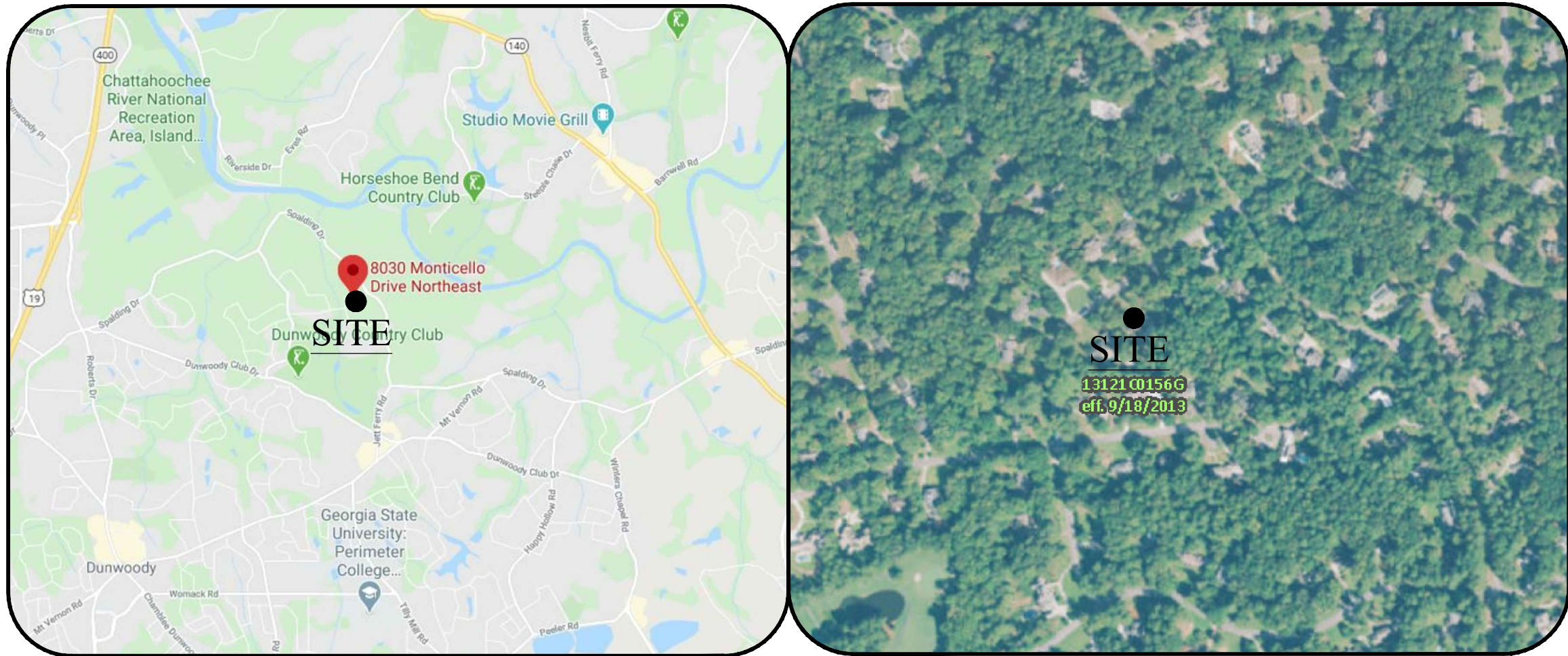
SUWANEE (770) 271-5772
454 SATELLITE BLVD, SUITE 200
SUWANEE, GEORGIA 30024

ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW (678) 730-4393
975 COBB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
22325.02

SHEET
1 OF 3



Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER(S) 13121C0156G FOR UNINCORPORATED FULTON COUNTY, GEORGIA. (USE SEPTEMBER 18, 2013 MAP).

ZONING: RE-2

MINIMUM LOT AREA: 2 AC

RE-2 SETBACKS AS PER PLAT

FRONT: 60 FT
STREET SIDE: 40 FT
INTERIOR SIDE: 25 FT
REAR: 50 FT
BUILDING HEIGHT: 25 FT (ACCESSORY STRUCTURE)
40 FT (PRINCIPAL DWELLING)
MAXIMUM F.A.R.: 0.40
MAXIMUM COVERAGE: 25% (30% WITH MITIGATION)

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSIONS REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

JENNIFER TAYLOR
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350

BUILDER / EMERGENCY CONTACT

JENNIFER TAYLOR
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
404-808-5327

SITE NOTES:

- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF SANDY SPRINGS AND FULTON COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY. NEED QUALIFIED CONTRACTOR PERMIT.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STAKED HAYBALES OR SANDBAGS).
- ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF SANDY SPRING TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF SANDY SPRINGS ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE, CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.
- NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR OR NAMING SAID PERSON.

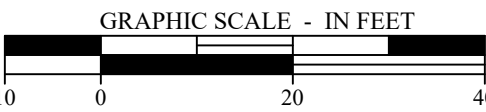
© COPYRIGHT 2020 - BOUNDARY ZONE, INC.
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 1.034 ACRES / 45,026 SQUARE FEET
BOUNDARY REFERENCE: DB 38920, PG 105; PB 87, PG 60
FIELDWORK PERFORMED ON 7/6/2020

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,536 FEET

THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 0.02 FEET



GENERAL NOTES:

- TOTAL AREA: 1.034 ACRES / 45,026 SQUARE FEET
- BOUNDARY REFERENCE: DB 38920, PG 105; PB 87, PG 60
- FIELDWORK PERFORMED ON 7/6/2020
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,536 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 0.02 FEET
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF SANDY SPRINGS AS SHOWN ON PANEL # 13121C0156G, EFFECTIVE ON 09/18/2013
- PROJECT NARRATIVE:
SITE LOCATION:
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
CONSTRUCTION OF A DETACHED 2 CAR GARAGE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
9. SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
10. DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
11. CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
12. NO NEW STORM DRAIN PIPES ARE PROPOSED
13. THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
14. THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

CONSTRUCTION LEGEND	
(Co)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(Ci)	CONSTRUCTION OF A DETACHED 2 CAR GARAGE & PART OF DRIVEWAY
(SA)	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION
(TPA)	TPA PATH. NO MACHINERY ALLOWED IN THIS AREA. 8-INCH OF MULCH AND 3/4" PLYWOOD NO CONSTRUCTION ACTIVITY WITHIN THE S.R.P. (STRUCTURAL ROOT PLATE)

EROSION CONTROL NOTES:

- ALL SILT FENCE SHALL BE TYPE S.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED WITH THE ON-SITE INSPECTOR.
- ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- NO GRADED SLOPES SHALL EXCEED 2H:1V AND SHALL SLOPE AWAY FROM THE BUILDING.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING; DISTURBED AREAS EXPOSED FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY.
- SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE S TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY: 7:00AM - 7:00PM
SATURDAY: 8:00AM - 5:00PM
- ALL AREAS TO RECEIVE STRUCTURAL FILL TO BE CLEARED, STRIPPED AND FREE OF TOPSOIL, ROOTS, STUMPS, AND ALL OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL TO BE CLEARED FROM ORGANICS AND ALL OTHER DELETERIOUS MATERIAL. FILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DENSITY AND TO WITHIN 3%+ OF THE OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT OR BY THE PROJECT GEOTECHNICAL ENGINEER. ALL FILL SOILS TO BE PLACED UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER. DOCUMENTATION OF COMPACTION TESTING SHALL BE PROVIDED TO LAND DISTURBANCE ACTIVITY INSPECTOR FOR ALL ROADWAY CONSTRUCTION IN RIGHT-OF-WAY (INCLUDING DECELERATION LANE) CONTACT LAND DISTURBANCE ACTIVITY INSPECTOR PRIOR TO CONSTRUCTION FOR FURTHER TESTING REQUIREMENTS.
- FAILURE OF THE CONTRACTOR TO PERFORM THE PRESCRIBED EROSION CONTROL PRACTICES SHALL RESULT IN THE IMMEDIATE ISSUANCE OF A STOP-WORK ORDER FOR THE PROJECT SITE, PURSUANT TO UDC 3.1.1.F.2.D.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL DISTURBED AREAS MUST BE VEGETATED WITHIN 14 DAYS OF FINAL GRADE.
- ALL FILL SLOPES SHALL HAVE SILT FENCE AT THE TOE OF THE SLOPE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE SILT FENCE USED FOR EROSION CONTROL.
- MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL: 1 VERTICAL.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE REGULAR TOP DRESSING WITH STONE, AS CONDITIONS DEMAND. (ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM MUST BE REMOVED IMMEDIATELY BY SWEEPING.)
- THE OWNER WILL MAINTAIN STORM WATER RUNOFF CONTROLS AT ALL TIMES. ADDITIONAL CONTROLS WILL BE INSTALLED IF DETERMINED NECESSARY BY THE ON-SITE INSPECTION.
- AT LEAST ONE PERSON ON A PROJECT OR SITE MUST HAVE COMPLETED THE LEVEL 1A EROSION EDUCATION & TRAINING COURSE AND BE CERTIFIED BY GSWCC.
- SUBCONTRACTORS MUST COMPLETE EITHER LEVEL 1A EROSION EDUCATION & TRAINING COURSE OR ATTEND SUBCONTRACTOR AWARENESS SEMINAR.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY, AT LEAST WEEKLY AFTER AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR AS NECESSARY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY."
- DETAIL DRAWINGS FOR ALL STRUCTURAL PRACTICES, SPECIFICATIONS MUST, AT A MINIMUM, MEET THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- UNDISTURBED BUFFERS SHALL BE PLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED DUE TO APPROVED UTILITY CROSSINGS. REPLANTING IS SUBJECT TO CITY ARBORIST APPROVAL.

SANDY SPRINGS NOTES:

- TOPOGRAPHY IS BASED ON FIELD RUN DATA BY BOUNDARY ZONE ON 7/24/17. THE FIELD RUN TOPOGRAPHY DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.
- NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WREATHED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED SEAL APPEARS HEREON, AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY HIMSELF OR HIS AUTHORIZED AGENT UNDER HIS SUPERVISION.
- ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DETAIL.
- CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY DISTURBANCE (THE CUT-OFF TIME FOR NEXT DAY INSPECTIONS IS 2 PM)
- AN AS-BUILT DRAWING, CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SIT DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.
- BUILDING PERMIT CANNOT BE APPROVED NOT ISSUED UNTIL DEMOLITION PERMIT IS APPROVED AND ISSUED.
- FORM SURVEY WILL BE SUBMITTED TO BUILDING INSPECTOR TO ENSURE THAT THE STRUCTURE IS COMPLETELY WITHIN THE BUILDABLE AREA.
- PLEASE BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.

LEGEND:

- | | | | |
|------------------------------------|---------------|---------------------------|--------------------------------|
| ● PROPERTY CORNER FOUND (AS NOTED) | ☐ POWER METER | ☐ TELEPHONE BOX | —H— HAY BALES |
| ▲ SET LSF# 839 | ☐ POWER BOX | —W— WATER LINE | —FW— FLOW WELL LINE |
| ☐ R/W MONUMENT | ☐ AC UNIT | —S— SEWER LINE | —N— NOW OR FORMERLY |
| ☐ FIRE HYDRANT | ☐ LIGHT POLE | —G— GAS LINE | —R/W— RIGHT-OF-WAY |
| ☐ WATER METER | ☐ GUY WIRE | —B— BUILDING SETBACK LINE | —CNTL— CANTILEVER |
| ☐ WATER VALVE | ☐ MANHOLE | —C— CABLE LINE | —CR.Z— CRITICAL ROOT ZONE |
| ☐ POWER POLE | ☐ CLEAN OUT | —T— TELEPHONE LINE | —S.R.P.— STRUCTURAL ROOT PLATE |
| ☐ YARD DRAIN | ☐ GAS METER | —X— FENCE LINE | (TYP.) |
| ☐ SIGN | ☐ GAS VALVE | —SF— SILT FENCE | |
| | ☐ CABLE BOX | —O— TREE PROTECTION | L.L. LAND LOT |

- | | | |
|------------------------------------|-----------------------------------|-----------------|
| CONC. CONCRETE | TP-1069.0 TOP OF FOOTER ELEVATION | ☐ HARDWOOD TREE |
| EDGE OF PAVEMENT | —SF— SILT FENCE | ☐ PINE TREE |
| —C— CONTOUR LINE | ☐ DRAINAGE ARROW | X TO BE REMOVED |
| F.F.E. FINISH FLOOR ELEVATION | | |
| B.F.E. BASEMENT FLOOR ELEVATION | | |
| G.F.E. GARAGE FLOOR ELEVATION | | |
| 103.6 GROUND ELEVATION | | |
| 103.6 SURFACE ELEVATION | | |
| TP-1069.0 TOP OF WALL ELEVATION | | |
| HW-1069.0 BOTTOM OF WALL ELEVATION | | |

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

DISTURBED AREA:
1,900 SQ. FT. / 0.043 ACRES

ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED

USE EXISTING WATER, SEWER AND GAS CONNECTIONS

N/F
MITCHELL & LAUREN
GERSTEN
DB 52383 PG 589



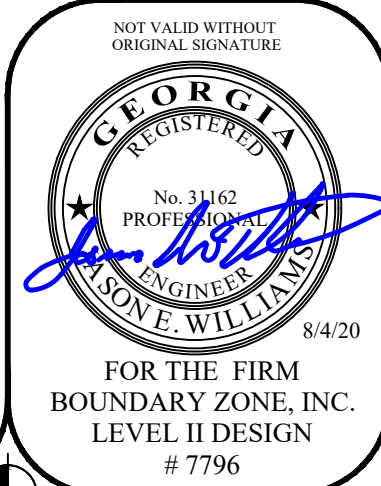
SUWANEE (770) 271-2772
454 SATELLITE BLVD, SUITE 200
SUWANEE, GEORGIA 30024
ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309
KENNESAW (678) 394-4393
975 CORB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144



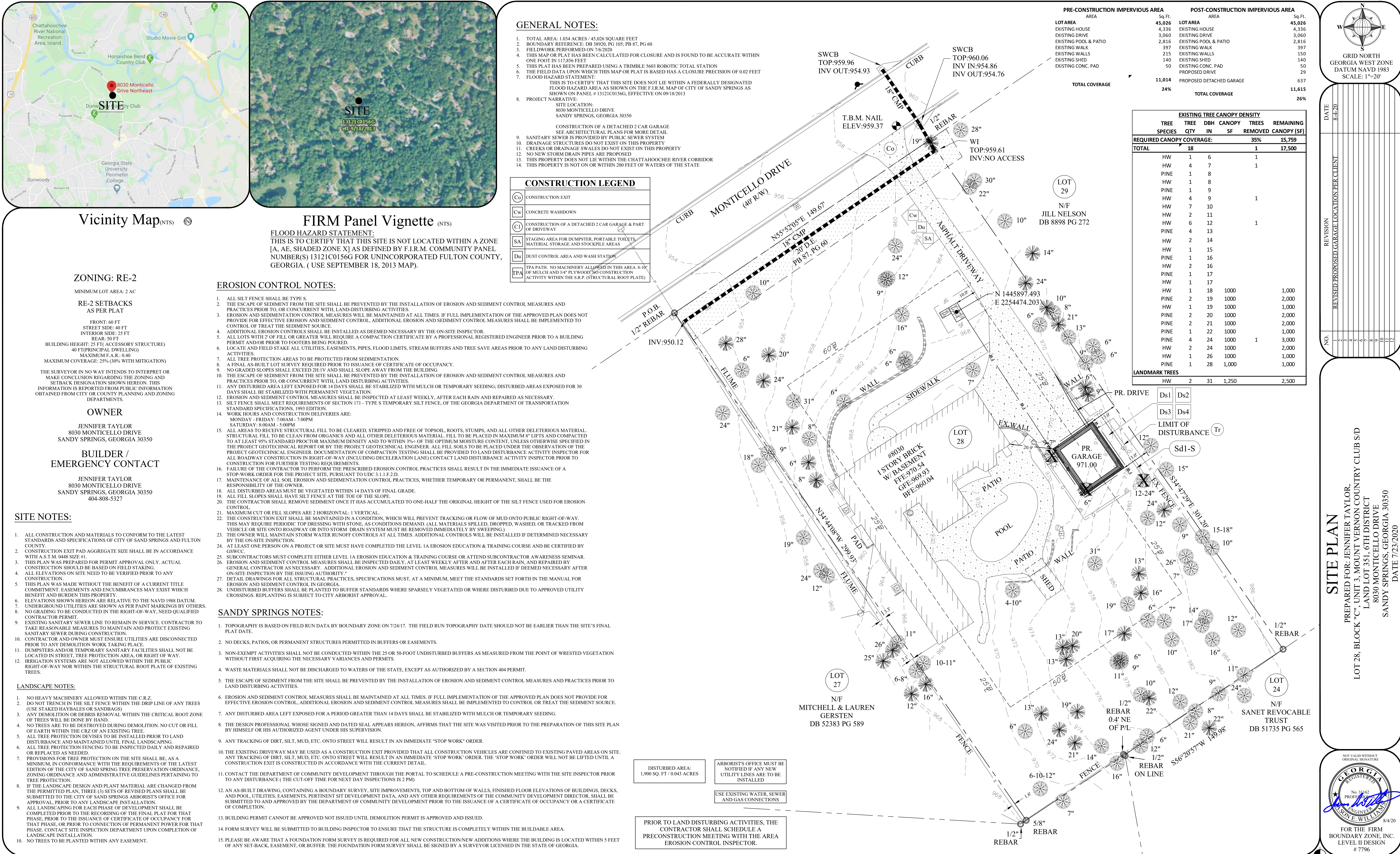
DATE	8-4-20
REVISION	REVISED PROPOSED GARAGE LOCATION PER CLIENT
NO.	1 2 3 4 5 6 7 8 9 10 11 12

SITE PLAN

PREPARED FOR: JENNIFER TAYLOR,
LOT 28, BLOCK "C", UNIT 3, MOUNT VERNON COUNTRY CLUB S/D
LAND LOT 351, 6TH DISTRICT
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
DATE 7/23/2020

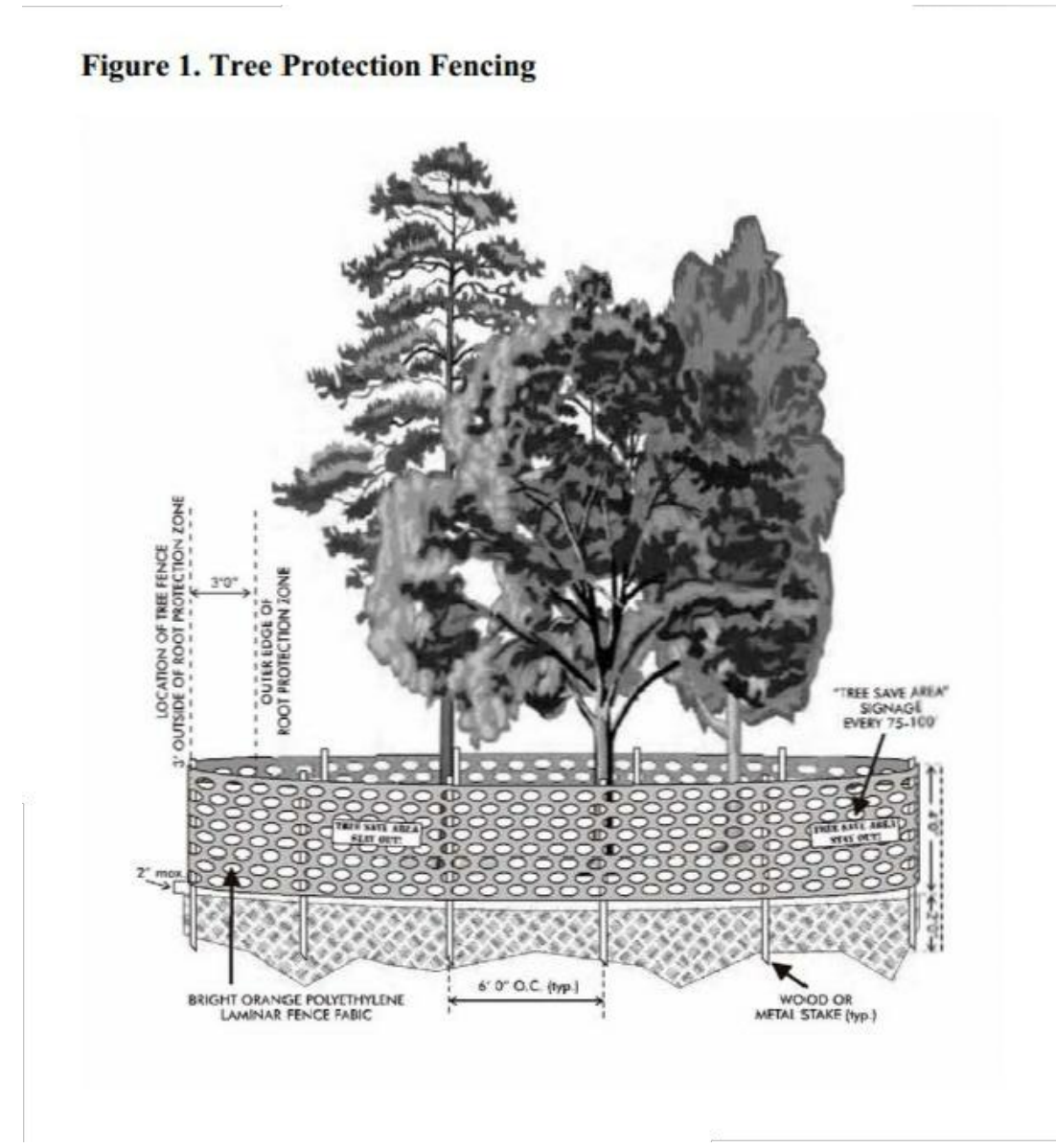
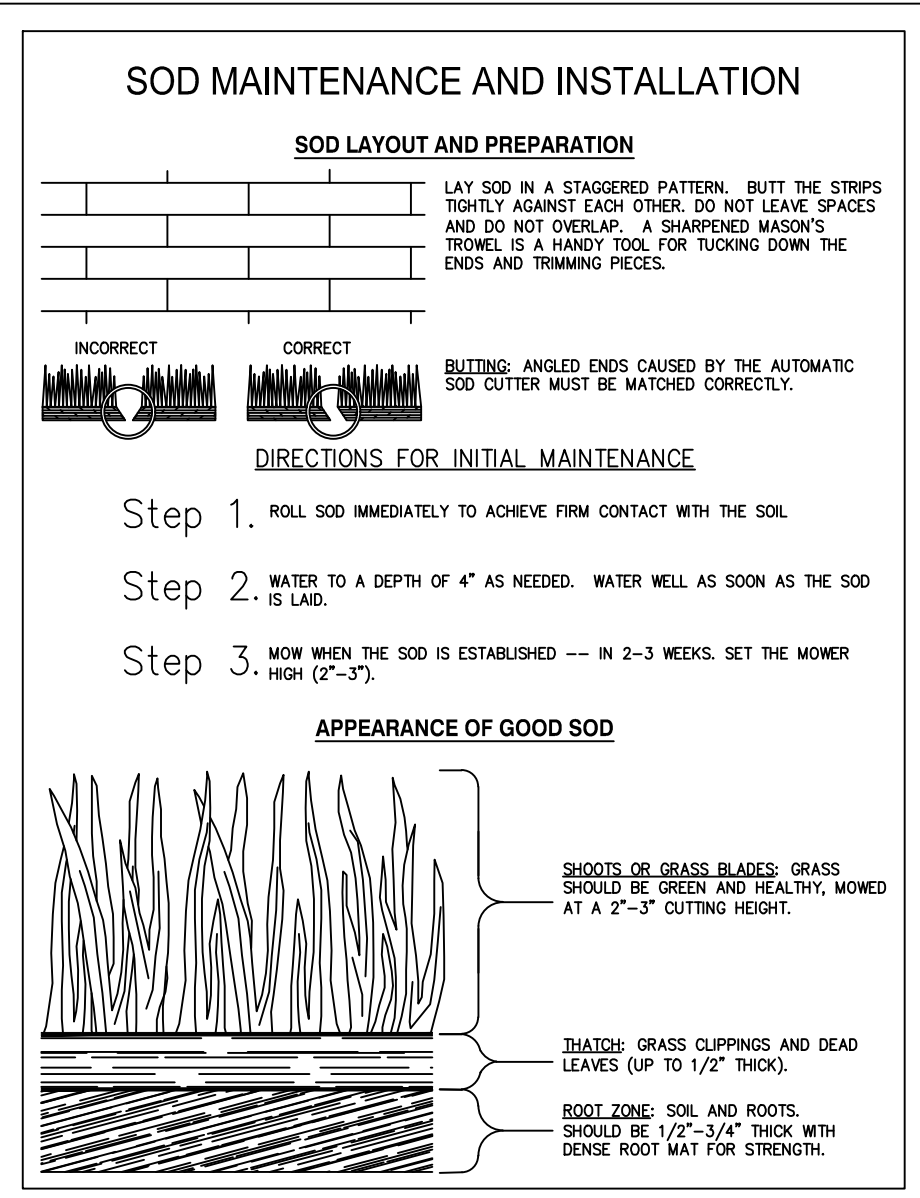
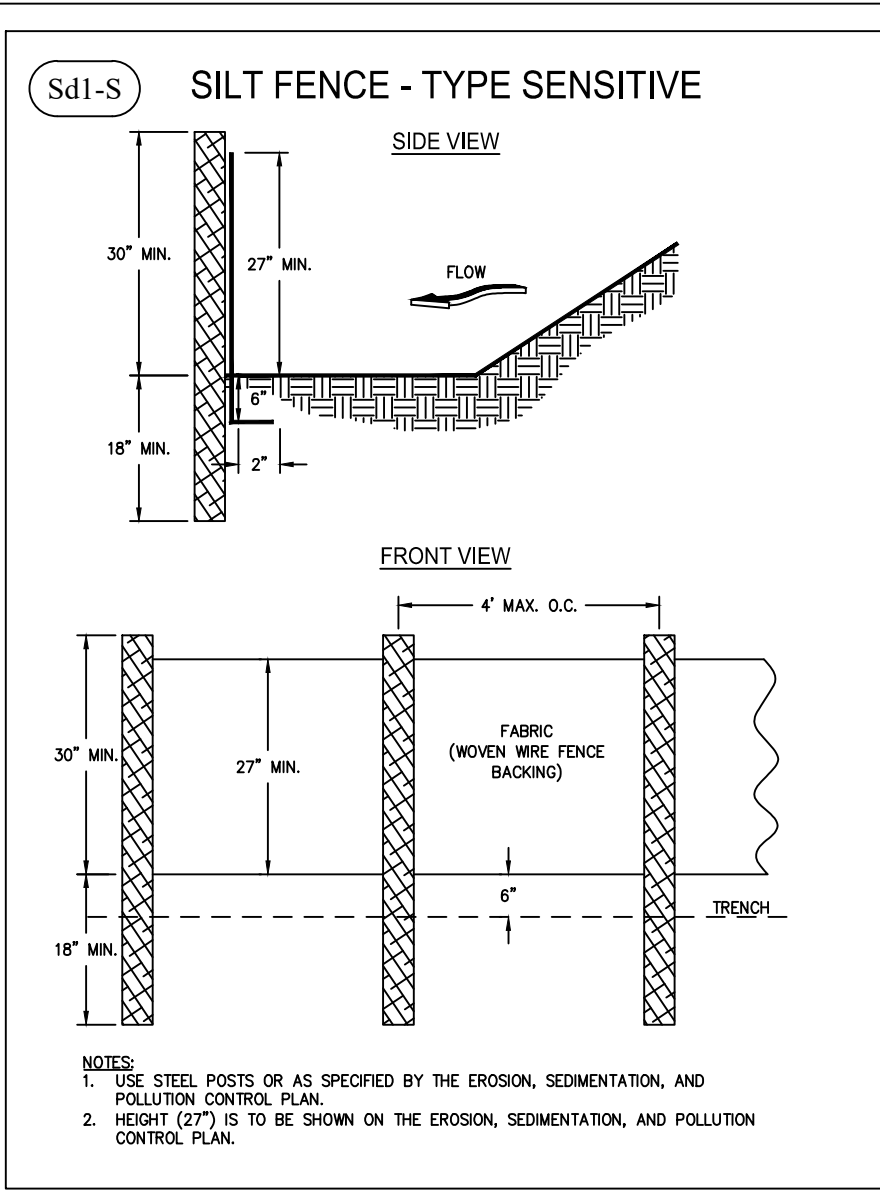
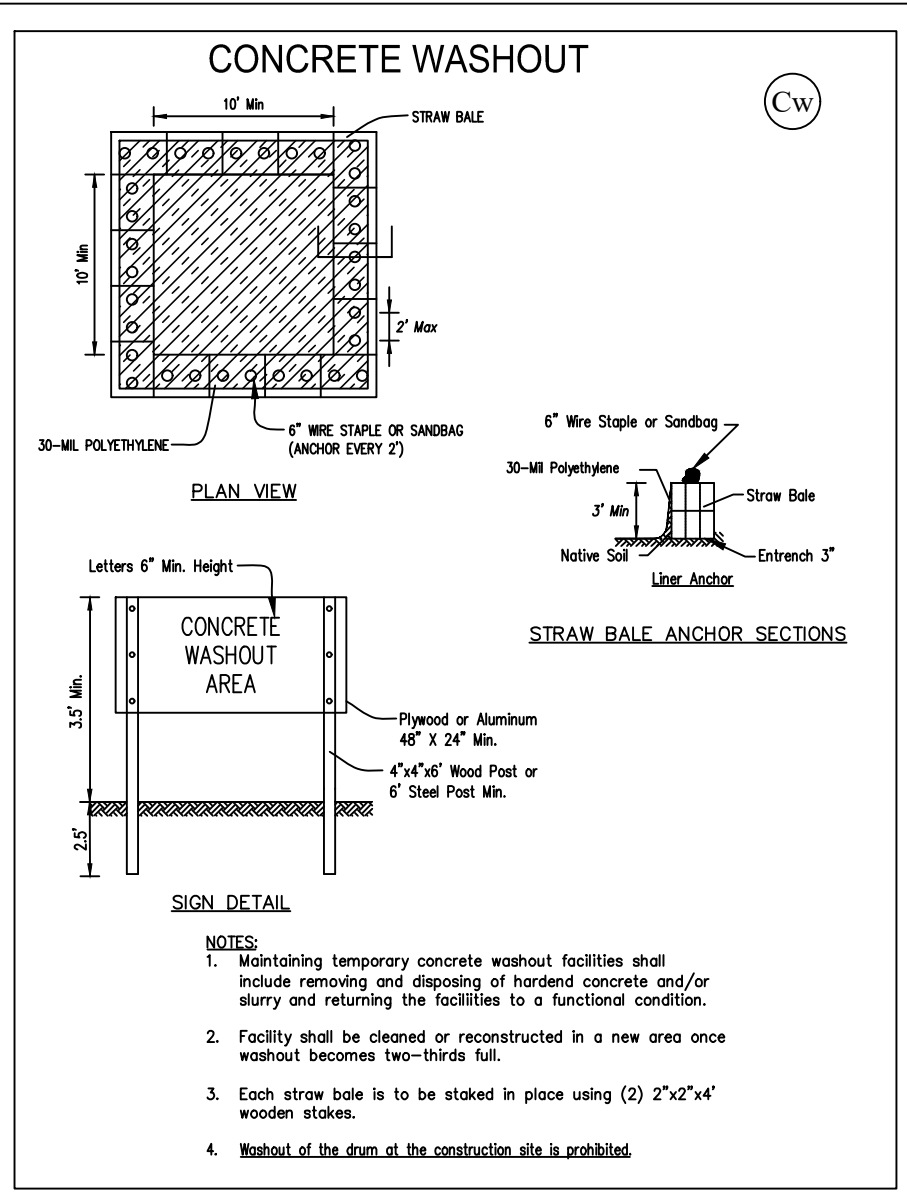
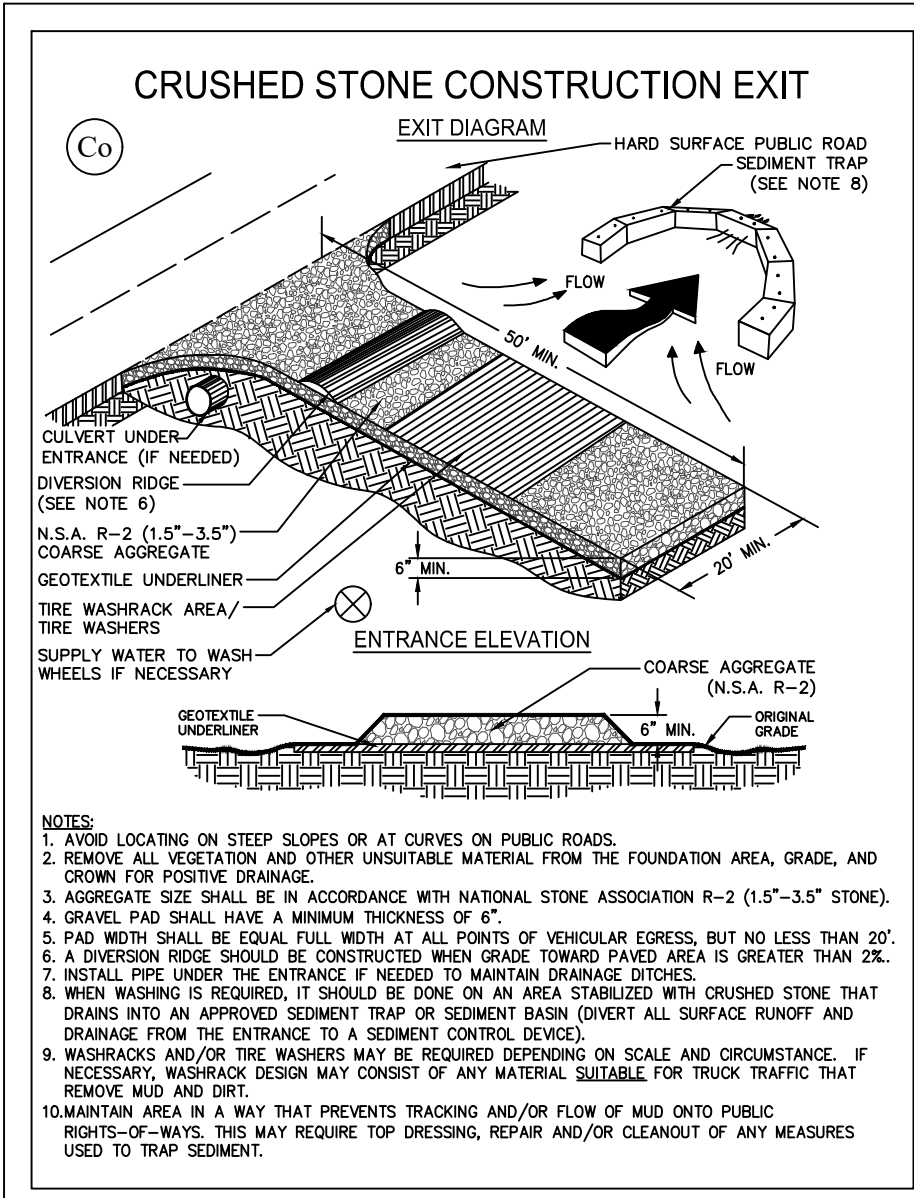


PROJECT
22325.02
SHEET
2 OF 3



PRE-CONSTRUCTION IMPERVIOUS AREA		POST-CONSTRUCTION IMPERVIOUS AREA	
AREA	Sq. Ft.	AREA	Sq. Ft.
LOT AREA	45,026	LOT AREA	45,026
EXISTING HOUSE	4,336	EXISTING HOUSE	4,336
EXISTING DRIVE	3,060	EXISTING DRIVE	3,060
EXISTING POOL & PATIO	2,816	EXISTING POOL & PATIO	2,816
EXISTING WALK	397	EXISTING WALK	397
EXISTING WALLS	215	EXISTING WALLS	150
EXISTING SHED	140	EXISTING SHED	140
EXISTING CONC. PAD	50	EXISTING CONC. PAD	50
PROPOSED DRIVE	29	PROPOSED DRIVE	29
TOTAL COVERAGE	11,014	PROPOSED DETACHED GARAGE	637
	24%	TOTAL COVERAGE	11,615
			26%

EXISTING TREE CANOPY DENSITY					
TREE SPECIES	TREE QTY	DBH IN	CANOPY SF	TREES REMOVED	REMAINING CANOPY (SF)
REQUIRED CANOPY COVERAGE:				35%	15,759
TOTAL	18			1	17,500
HW	1	6		1	
HW	4	7		1	
PINE	1	8			
HW	1	8			
PINE	1	9			
HW	4	9		1	
HW	7	10			
HW	2	11			
HW	6	12		1	
PINE	4	13			
HW	2	14			
HW	1	15			
PINE	1	16			
HW	2	16			
PINE	1	17			
HW	1	17			
HW	1	18	1000		1,000
PINE	2	19	1000		2,000
HW	1	19	1000		1,000
PINE	2	20	1000		2,000
PINE	2	21	1000		2,000
PINE	1	22	1000		1,000
PINE	4	24	1000	1	3,000
HW	2	24	1000		2,000
HW	1	26	1000		1,000
PINE	1	28	1,000		1,000
LANDMARK TREES					
HW	2	31	1,250		2,500



ACTIVITY SCHEDULE		0	2	4	6	8	10	12	14
NO. OF MONTHS									
HOUSE CONSTRUCTION									
CLEAR AND GRUB									
ROUGH GRADING									
FINISH GRADING									
UTILITIES									
PAVING									
GRASSING/CLEAN UP									
EROSION CONTROL MEASURES									

Ds1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY)
ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.

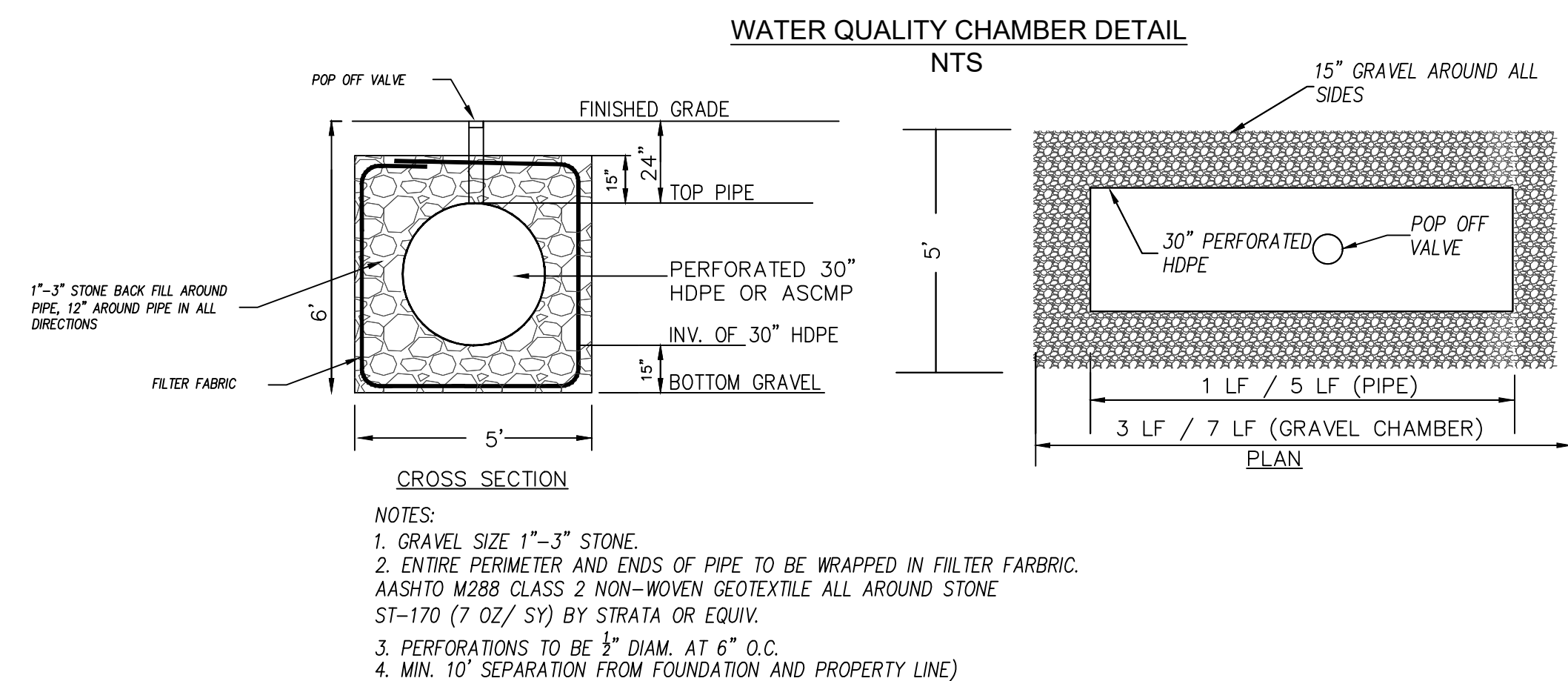
Ds2

GRASSING SCHEDULE		(HYDROSEEDING RATES)		FERTILIZER (LBS./ACRE)			
SPECIES	RATE/1000S.F.	DATES	LIME	N	P205	K20	
KY 31	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180	
FESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180	
WINTER RYE		3/1-4/1					
*WEEPING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180	

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3\"/>



WATER QUALITY NOTES

1. SLOTTED/PERFORATED FLEX PIPE ALLOWED UNDERGROUND WITH INFILTRATION TRENCH. PVC (SCHEDULE 20 MINIMUM) REQUIRED ABOVE GROUND WITH POSITIVE DRAINAGE (1% MIN.) AND UNDERGROUND CONNECTING DOWNSPOUTS/WATER QUALITY DEVICE.
2. A CLEAN OUT / EMERGENCY BYPASS SHALL BE PROVIDED. OVERFLOW FROM WATER QUALITY BMP(S) SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES
3. QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSPAPING.
4. ALL ROOF DOWN SPOUTS AND COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).

8030 MONTICELLO DRIVE	
STORM WATER VOLUME	
IMPERVIOUS AREA	242.5 SF
RUNOFF	1.2 INCHES
	291.0
DIVISIBLE	12
	24.25 CF

PIPE	
DIAMETER	30 INCHES
VOLUME	4.91 CF/LF
PIPE LENGTH	1
VOLUME IN PIPE	4.91

GRAVEL	
CROSS SECTION	5 FEET
	5 FEET
AREA	25 SF
LENGTH	3 LF
GROSS VOLUME	75 CF
SUBTRACT VOL. IN PIPE	4.91 CF
NET VOLUME	70.09
VOID RATIO	0.4 %
EFFECTIVE VOLUME	28.036 CF
VOLUME PROVIDED/CHAMBER	32.946 CF

CHAMBERS	
VOLUME PROVIDED	32.946

8030 MONTICELLO DRIVE	
STORM WATER VOLUME	
IMPERVIOUS AREA	358.5 SF
RUNOFF	2.4 INCHES
	860.4
DIVISIBLE	12
	71.70 CF

PIPE	
DIAMETER	30 INCHES
VOLUME	4.91 CF/LF
PIPE LENGTH	5
VOLUME IN PIPE	24.55

GRAVEL	
CROSS SECTION	5 FEET
	5 FEET
AREA	25 SF
LENGTH	7 LF
GROSS VOLUME	175 CF
SUBTRACT VOL. IN PIPE	24.55 CF
NET VOLUME	150.45
VOID RATIO	0.4 %
EFFECTIVE VOLUME	60.18 CF
VOLUME PROVIDED/CHAMBER	84.73 CF

CHAMBERS	
VOLUME PROVIDED	84.73

Du DUST CONTROL
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON AND OFF-SITE DAMAGE MAY OCCUR WITHOUT TREATMENT.

METHOD AND MATERIALS

A. TEMPORARY METHODS

MULCHES. SEE STANDARD **DS1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**. SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO SPECIFICATION **TAC - TACKIFIERS**. RESINS SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VEGETATIVE COVER. SEE SPECIFICATION **DS2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**.

SPRAY-ON ADHESIVES. THESE ARE USED ON MINERJAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO SPECIFICATION **TAC - TACKIFIERS**.

TILLAGE. THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE THAT SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.

IRRIGATION. THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.

BARRIERS. SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

CALCIUM CHLORIDE. APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

A. PERMANENT METHODS

PERMANENT VEGETATION. SEE SPECIFICATION **DS3 -DISTURBED AREA**

STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING. THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL. SEE SPECIFICATION **TP - TOPSOILING**.

STONE. COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE SPECIFICATION **CR-CONSTRUCTION ROAD STABILIZATION**.

Ds3 PERMANENT GRASSING
PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, SEEDING, AND MULCHING

THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND - FERTILIZER AT A RATE OF 1500 LBS/AC. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM BEING FREE OF ROCKS, CLODS, ROOTS, ETC. FERTILIZER MIXED GRADE SHALL BE EITHER 4-12-12 OR 10-10-10. SEEDING SHALL BE DONE WITHIN 24 HOURS OF THE FERTILIZER APPLICATION, WEATHER PERMITTING. SEED SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN IN THE GRASSING CHART. MULCHING IS REQUIRED AND SHALL BE DONE AFTER SEEDING. MULCH SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN BELOW MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. MUCHING MATERIAL SHALL BE DRY STRAW OR DRY HAY OF GOOD QUALITY, FREE OF WEED SEEDS. APPLY AT A RATE OF 2.5 TONS PER ACRE. THE RATE OF APPLICATION SHALL BE DOUBLED ON SIDE SLOPES 4:1 AND STEEPER.

Ds4 SODDING (TO MATCH EXISTING SPECIES)
SODDING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, AND CERTIFIED SOD OF A VARIETY MATCHING EXISTING GRASS SPECIES, THE GROUND SHALL BE PREPARED BY CLEARING SURFACE OF TRASH, WOODY DEBRIS, STONES, AND CLODS LARGER THAN 1". APPLY AGRICULTURAL LIME AT A RATE OF 0.05 LBS / SF. IRRIGATE SOD AND SOIL TO A DEPTH OF 4" IMMEDIATELY AFTER INSTALLATION. SOD SHOULD NOT BE CUT OR SPREAD IN EXTREMELY WET OR DRY WEATHER. GRASS SPECIES ARE TO MATCH EXISTING SPECIES WHEN REPLACING GRASS LAWNS OF PROPERTY OWNERS.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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TOTAL AREA: 1.034 ACRES / 45,026 SQUARE FEET

BOUNDARY REFERENCE: DB 38920, PG 105; PB 87, PG 60
FIELDWORK PERFORMED ON 7/6/2020

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,656 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 0.02 FEET

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2\"/>

- ☐ POWER METER
- ☐ POWER BOX
- ☐ AC UNIT
- ☐ LIGHT POLE
- ☐ GUY WIRE
- ☐ MANHOLE
- ☐ CLEAN OUT
- ☐ GAS METER
- ☐ GAS VALVE
- ☐ CABLE BOX
- ☐ TELEPHONE BOX
- ☐ OVERHEAD UTILITY LINE
- ☐ S - SEWER LINE
- ☐ G - GAS LINE
- ☐ C - CABLE LINE
- ☐ TELEPHONE LINE
- ☐ X - FENCE LINE
- ☐ S - SILT FENCE
- ☐ O - TREE PROTECTION
- ☐ HAY BALES
- ☐ FLOW WELL LINE
- ☐ NOW OR FORMERLY
- ☐ RIGHT-OF-WAY
- ☐ BSL BUILDING SETBACK LINE
- ☐ CNTL. CANTILEVER
- ☐ CR.Z. CRITICAL ROOT ZONE
- ☐ S.R.P. STRUCTURAL ROOT PLATE (TYP.)
- ☐ L.L. LAND LOT

- ☐ CONC. CONCRETE
- ☐ EOP EDGE OF PAVEMENT
- ☐ NF NOW OR FORMERLY
- ☐ F.F.E. FINISH FLOOR ELEVATION
- ☐ B.F.E. BASEMENT FLOOR ELEVATION
- ☐ G.F.E. GARAGE FLOOR ELEVATION
- ☐ 1008.9 GROUND ELEVATION
- ☐ S.R.P. SURFACE ELEVATION
- ☐ TW-1008.9 TOP OF WALL ELEVATION
- ☐ BW-1008.9 BOTTOM OF WALL ELEVATION
- ☐ T-1008.9 TOP OF FOOTER ELEVATION
- ☐ SF - SILT FENCE
- ☐ DRAINAGE ARROW

TREE LEGEND

- ☐ HARDWOOD TREE
- ☐ PINE TREE
- X TO BE REMOVED



BOUNDARY zone, inc. LAND SURVEYING SERVICES & LAND PLANNING SERVICES

SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
WWW.BOUNDARYZONE.COM (770) 271-5772

SUWANEE (770) 271-5772
454 SATELLITE BLVD., SUITE 200
SUWANEE, GEORGIA 30024

ATLANTA (404) 446-8180
1100 PEACHTREE ST., SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW (678) 730-4393
975 COBB PLACE BLVD., SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
22325.02

SHEET
3 OF 3

DETAILS

PREPARED FOR: JENNIFER TAYLOR,
UNIT 3, MOUNT VERNON COUNTRY CLUB S/D
LAND LOT 351, 6TH DISTRICT
8030 MONTICELLO DRIVE
SANDY SPRINGS, GEORGIA 30350
DATE 7/23/2020

NOT VALID WITHOUT ORIGINAL SIGNATURE

REGISTERED
No. 31162
PROFESSIONAL
ENGINEER
JASON E. WILLIAMS
8/4/20

FOR THE FIRM
BOUNDARY ZONE, INC.
LEVEL II DESIGN
7796

C O N S T R U C T I O N D R A W I N G S

P R O J E C T S C O P E: B U I L D A 6 4 2 S Q U A R E F O O T 2 - C A R D E T A C H E D G A R A G E

JENN & GEOFF TAYLOR

8030 MONTICELLO DRIVE SANDY SPRINGS, GA. 30350

A R C H I T E C T C H I P M U R R A H G A L I C # 7 5 9 9 4 0 4 - 2 7 3 - 2 5 5 5
7540 BRIDGEGATE COURT SANDY SPRINGS, GEORGIA 30350

BUILDER	MARUS CORPORATION	MARCUS HOGE	7 7 0 - 3 1 7 - 2 0 2 8
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INDEX OF DRAWINGS

EX-1	EXISTING SITE STUDY
A-1	PROPOSED FLOOR & SITE PLAN
A-2	PROPOSED FRONT & REAR ELEVATIONS
A-3	PROPOSED SIDE ELEVATIONS
A-4	PROPOSED FOUNDATION PLAN & DETAILS
A-5	PROPOSED WALL SECTION & FRAMING PLANS

FOUNDATION NOTE:
Sandy Springs foundation anchorage requirement: Plate washers that are a minimum of 0.229" x 3" x 3" shall be provided for all anchor bolts, between the sill plate and the nut.

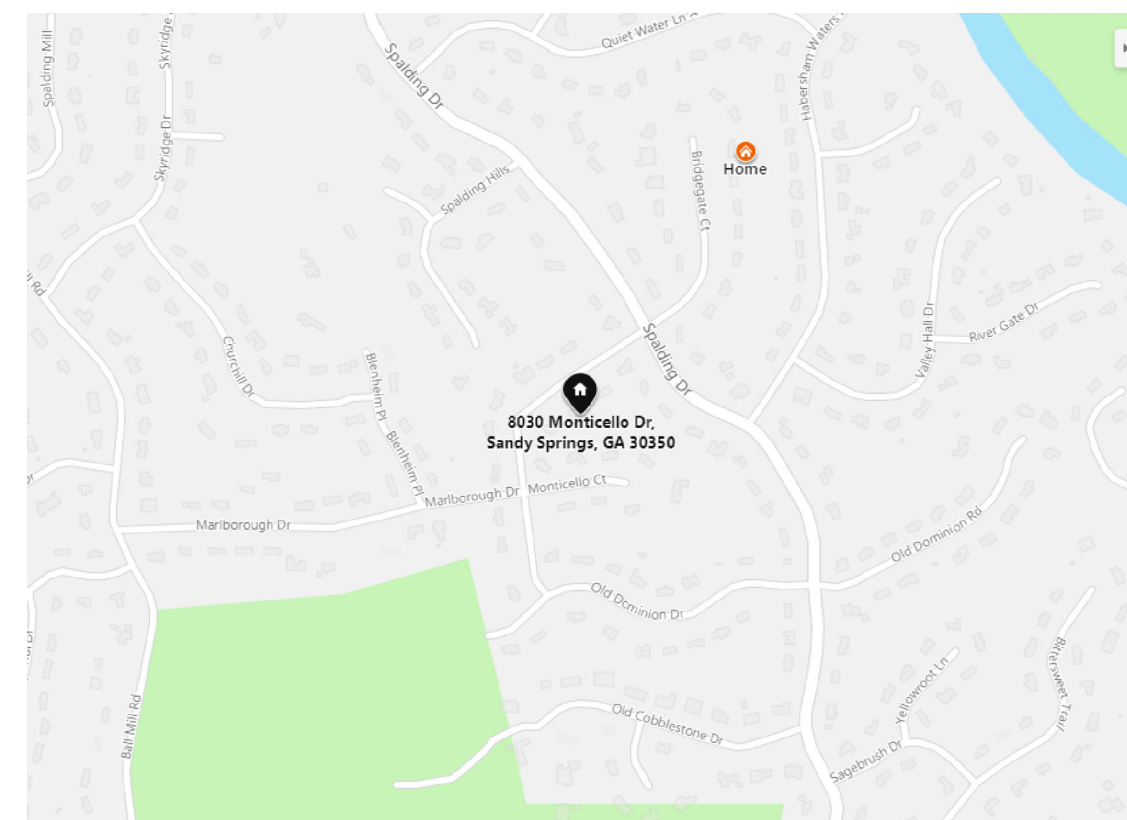
ELECTRICAL NOTE:
Contractor shall verify all smoke alarms throughout entire house are
compliant with IRC 314.3, IRC 314.2.2 & 314.6.

FRAMING NOTE:

Each roof rafter shall be tied down to both double top plates with straps of sufficient length to span from the roof rafter, across the band at the ceiling rafters, and extending -- at a minimum -- to the bottom of the lower plate.

FRAMING NOTE:

All exterior walls are considered to be shear walls; therefore, all exterior walls shall be fully sheathed and fully blocked at all edges. Horizontal sheathing joints shall not occur at the floor line, nor shall vertical or horizontal joints align with sides of openings in the exterior walls. Sheathing panels shall overlap the floor line by a minimum of 12 inches and extend a minimum of 12 inches below the bottom of the floor structure.



A R E A M A P N O T T O S C A L E

THIS JOB WILL COMPLY W/ ALL
APPLICABLE CODES:

Current Mandatory Codes as Adopted by DCA:

- International Building Code, 2018 Edition, with Georgia Amendments ([2020](#))
- International Residential Code, 2018 Edition, with Georgia Amendments ([2020](#))
- International Fire Code, 2018 Edition (No Georgia Amendments)
- International Plumbing Code, 2018 Edition, with Georgia Amendments ([2020](#))
- International Mechanical Code, 2018 Edition, with Georgia Amendments ([2020](#))
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments ([2020](#))
- National Electrical Code, 2017 Edition (No Georgia Amendments)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments ([2020](#))
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments ([2020](#))
- **For information and questions regarding the Life Safety Code (NFPA 101) or the Georgia Accessibility Code please [contact the State Fire Marshal's Office](#).**

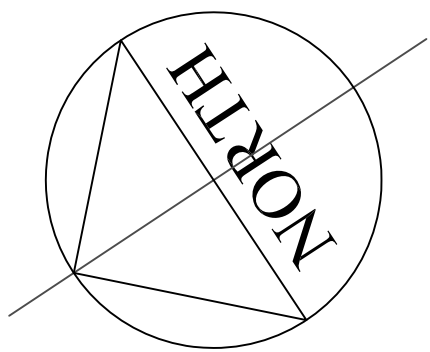
CONTRACTOR NOTE

After the permit is issued contact the department of Community Development through the online portal to schedule a Building Pre-Construction Meeting with the Building Inspector prior to any land disturbance, building construction, or demolition.” (This is in addition to the Site Pre-construction Meeting.)



RELEASED FOR CONSTRUCTION

AUGUST 1, 2020



EXISTING SITE STUDY
SCALE: 1/4" = 1'-0"

EXISTING
TRASH
BINS

APPROXIMATE 25" SETBACK

APPROXIMATE 25" SETBACK

EXISTING DRIVEWAY

EXISTING HOUSE TO
REMAIN AS IS

EXISTING POOL



RELEASED FOR CONSTRUCTION

AUGUST 1, 2020

REVISIONS	

CHIP MURRAH
ARCHITECT
404 273 2555

A NEW DETACHED 2-CAR GARAGE FOR
JENN & GEOFF TAYLOR
8030 MONTICEILLO DRIVE SANDY SPRINGS, GA. 30350

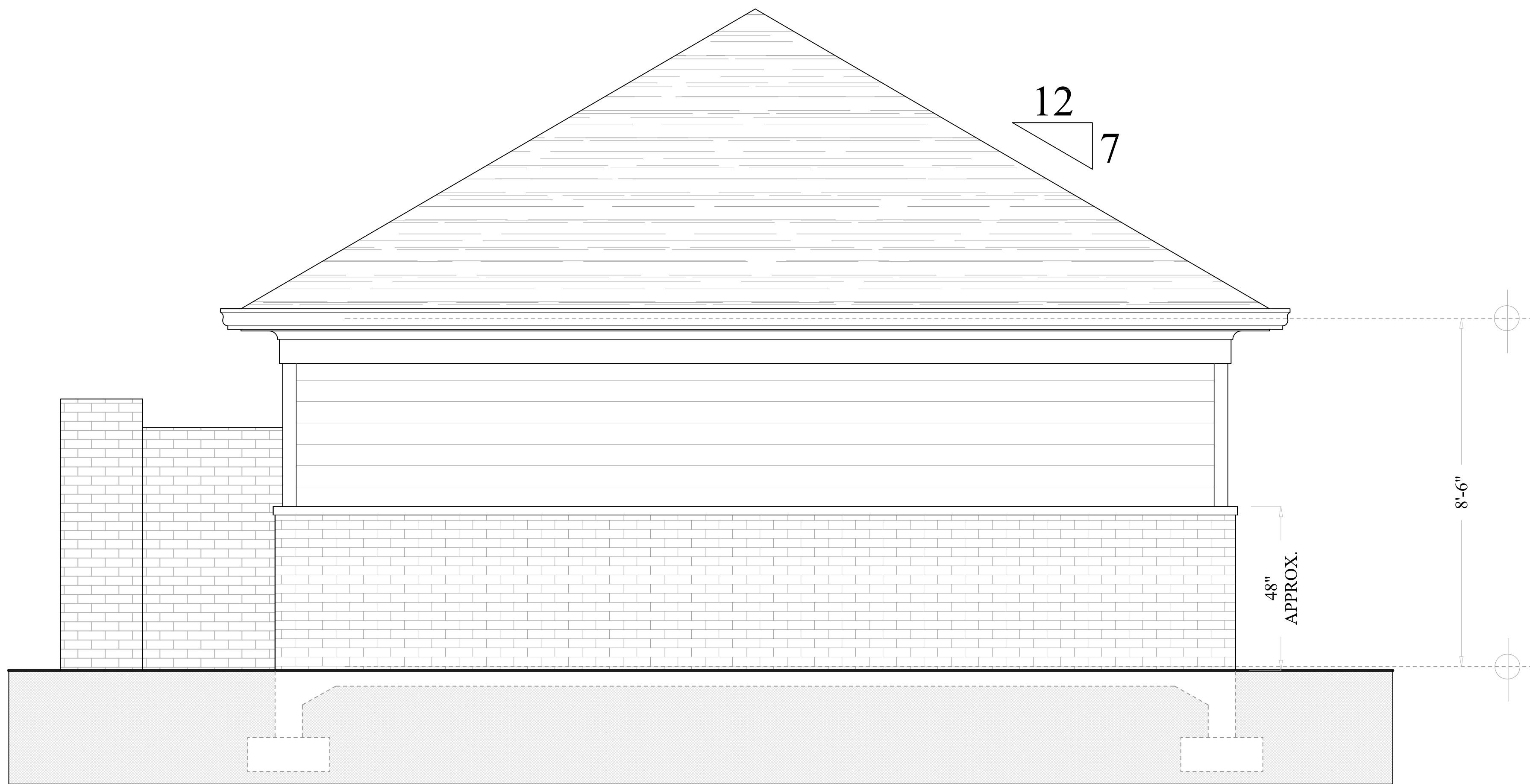
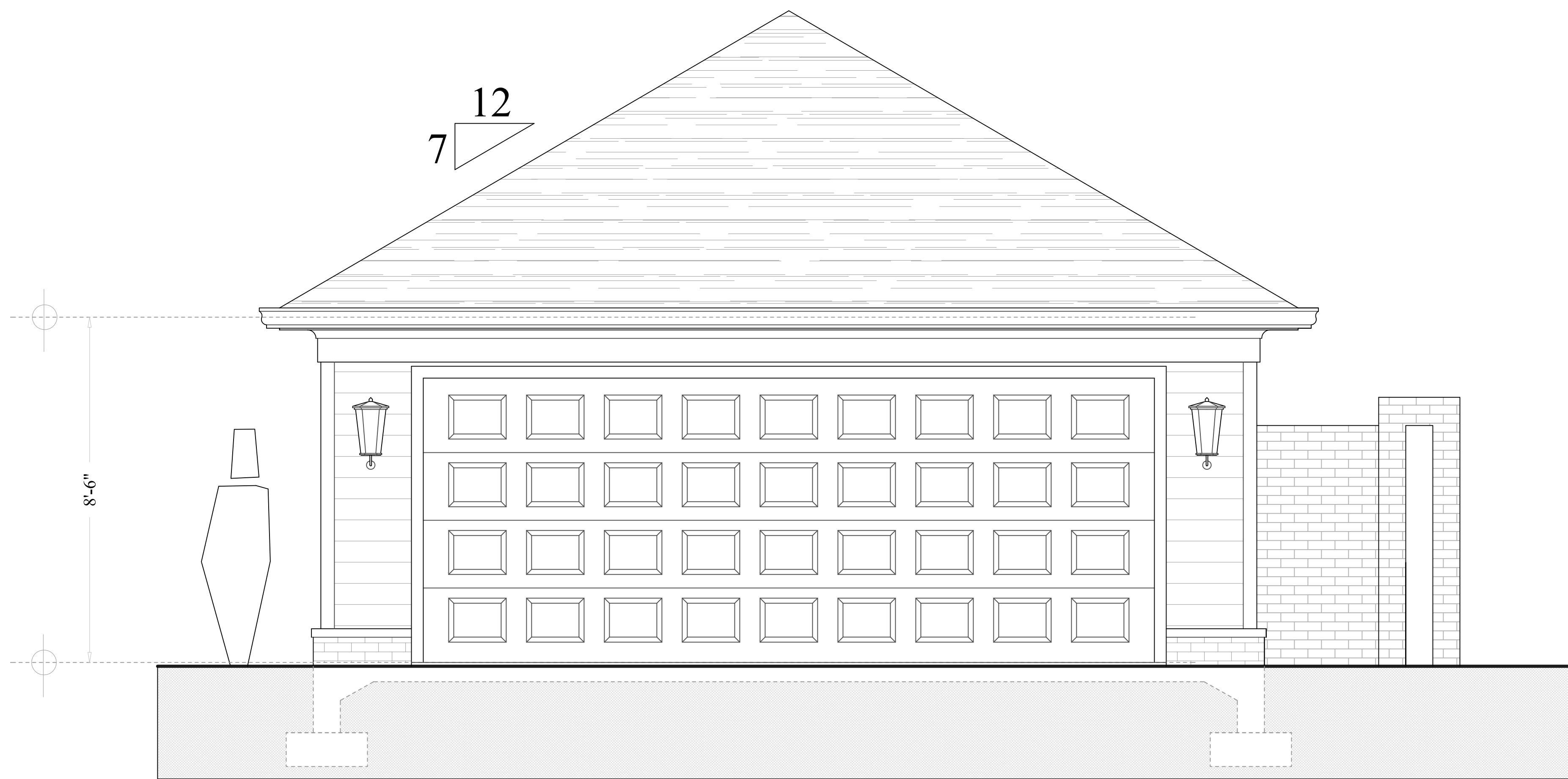
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commencing construction.

1. Builder or contractor must verify all dimensions,
structural requirements, and specifications before
commencing actual construction.
2. Builder or contractor must verify compliance with all
local, state and federal building codes and regulations
where the home is to be constructed.
3. Plans indicate locations only. Builder or contractor
should incorporate any engineering aspects in order to
construct the home.

Caution must be exercised in making any changes to
this plan. Only a qualified designer, architect, contractor
or structural engineer should make changes to this plan.
Minor changes could lead to major problems.

DATE	JOB #
8/1/20	
DRAWN	SHEET
C.M.	EX-1



PROPOSED REAR ELEVATION
SCALE: 1/2" = 1'-0"

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AUGUST 1, 2020



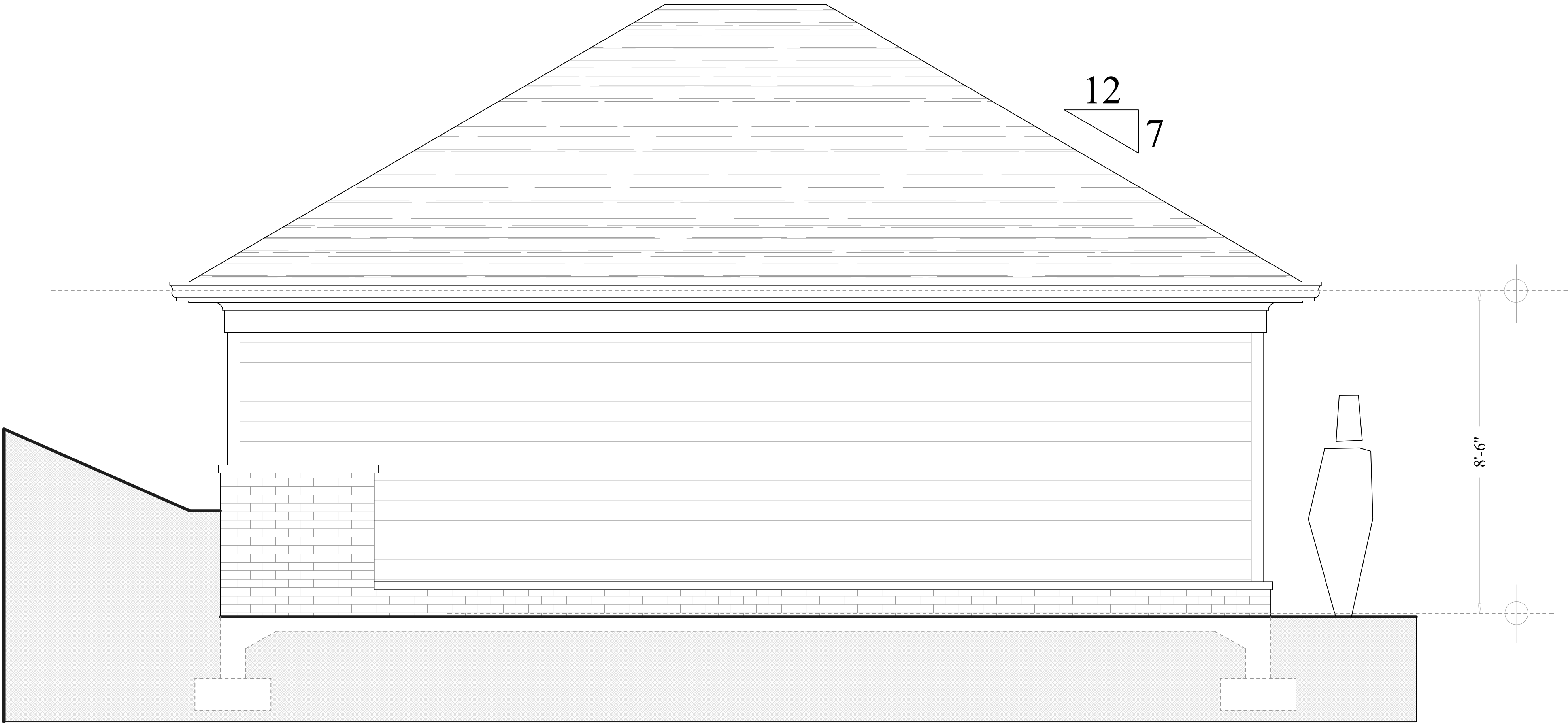
REVISIONS	

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chip@chipmurrharchitect.com

A NEW DETACHED 2-CAR GARAGE FOR
JENN & GEOFF TAYLOR
8030 MONTICEILLO DRIVE SANDY SPRINGS, GA. 30350

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2. Builder or contractor must verify compliance with all local, state and federal building codes and regulations where the home is to be constructed.
3. Plans indicate locations only. Builder or contractor will hire a structural engineer to incorporate any structural changes and display those specs and drawings to the building inspector if requested.
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DATE	JOB #
8/1/20	
DRAWN	SHEET
C.M.	A-2



PROPOSED SIDE ELEVATION - (L)
SCALE: 1/2" = 1'-0"



PROPOSED SIDE ELEVATION - (R)
SCALE: 1/2" = 1'-0"

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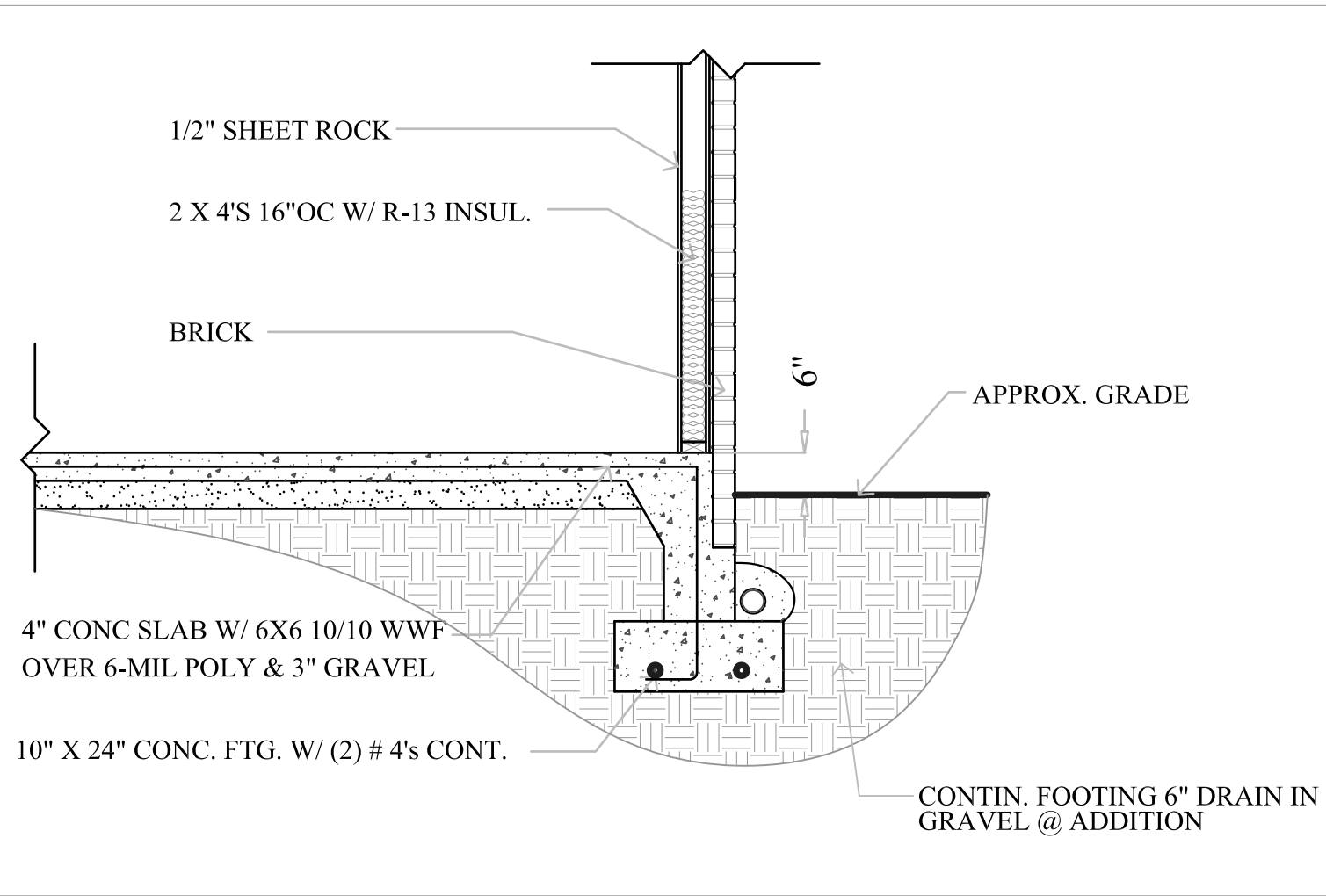
REVISIONS	

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A NEW DETACHED 2-CAR GARAGE FOR
JENN & GEOFF TAYLOR
8030 MONTICEILLO DRIVE SANDY SPRINGS, GA. 30350

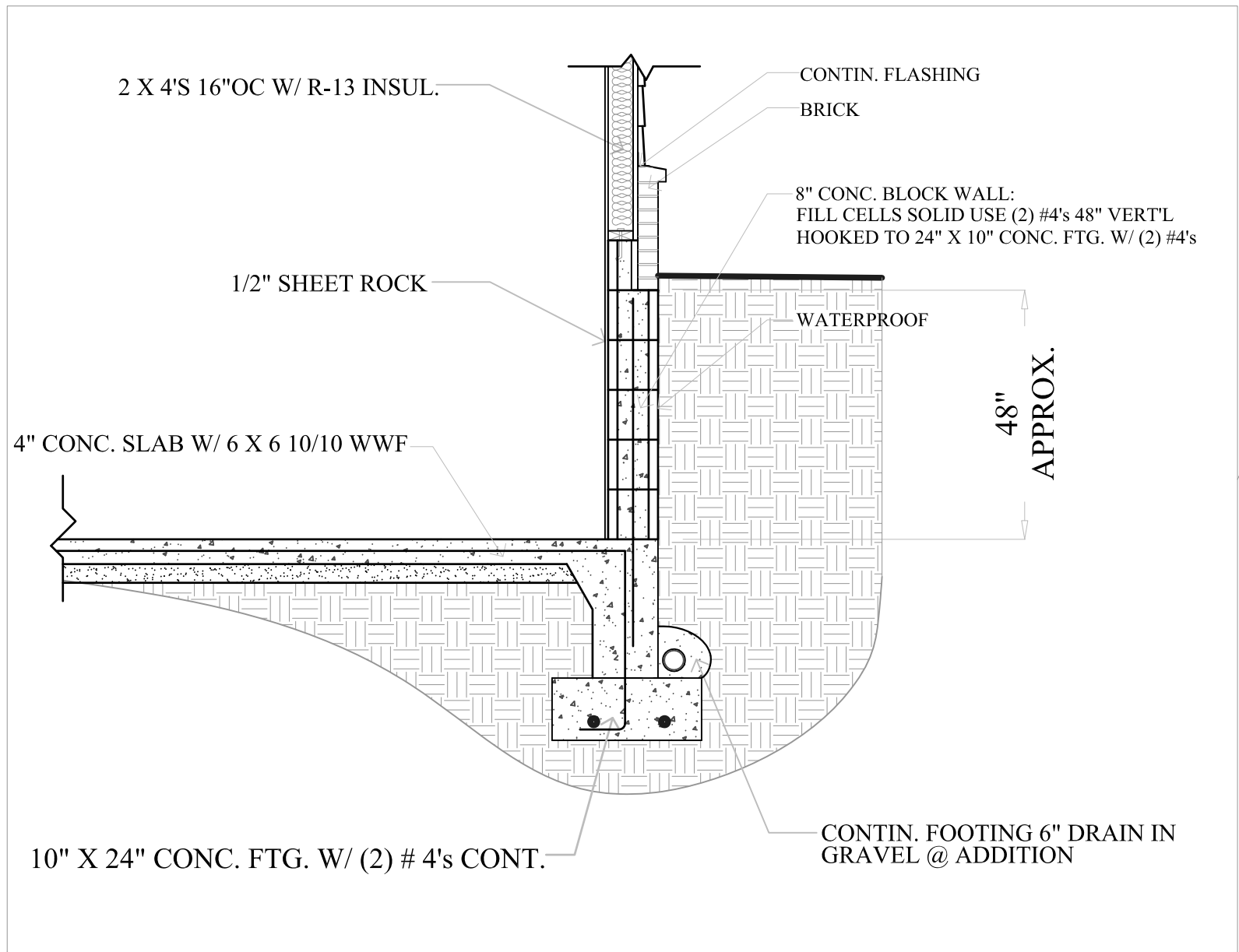
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DATE	JOB #
8/1/20	
DRAWN	SHEET
C.M.	A-3



FOOTING DETAIL - (F-1)

SCALE: 1/2" = 1'-0"



FOOTING DETAIL - (F-2)

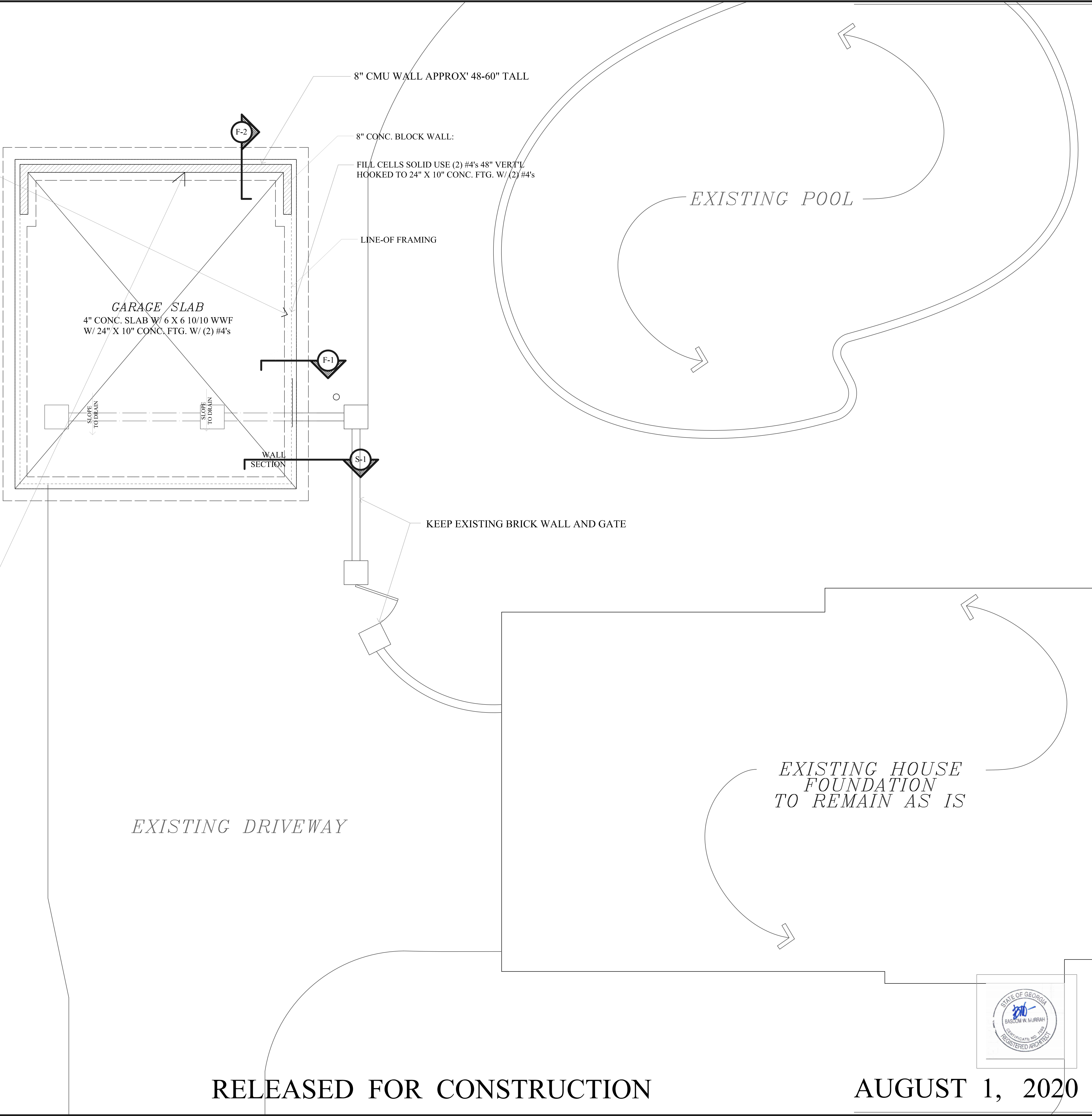
SCALE: 1/2" = 1'-0"

PROPOSED FOUNDATION PLAN

SCALE: 1/2" = 1'-0"

INDICATES 8" CONC. BLOCK WALL

FOUNDATION NOTE:
Sandy Springs foundation anchorage requirement: Plate washers that are a minimum of 0.229" x 3" x 3" shall be provided for all anchor bolts, between the sill plate and the nut.



REVISIONS	

CHIP MURRAH
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A NEW DETACHED 2-CAR GARAGE FOR
JENN & GEOFF TAYLOR
8030 MONTICEILLO DRIVE SANDY SPRINGS, GA. 30350

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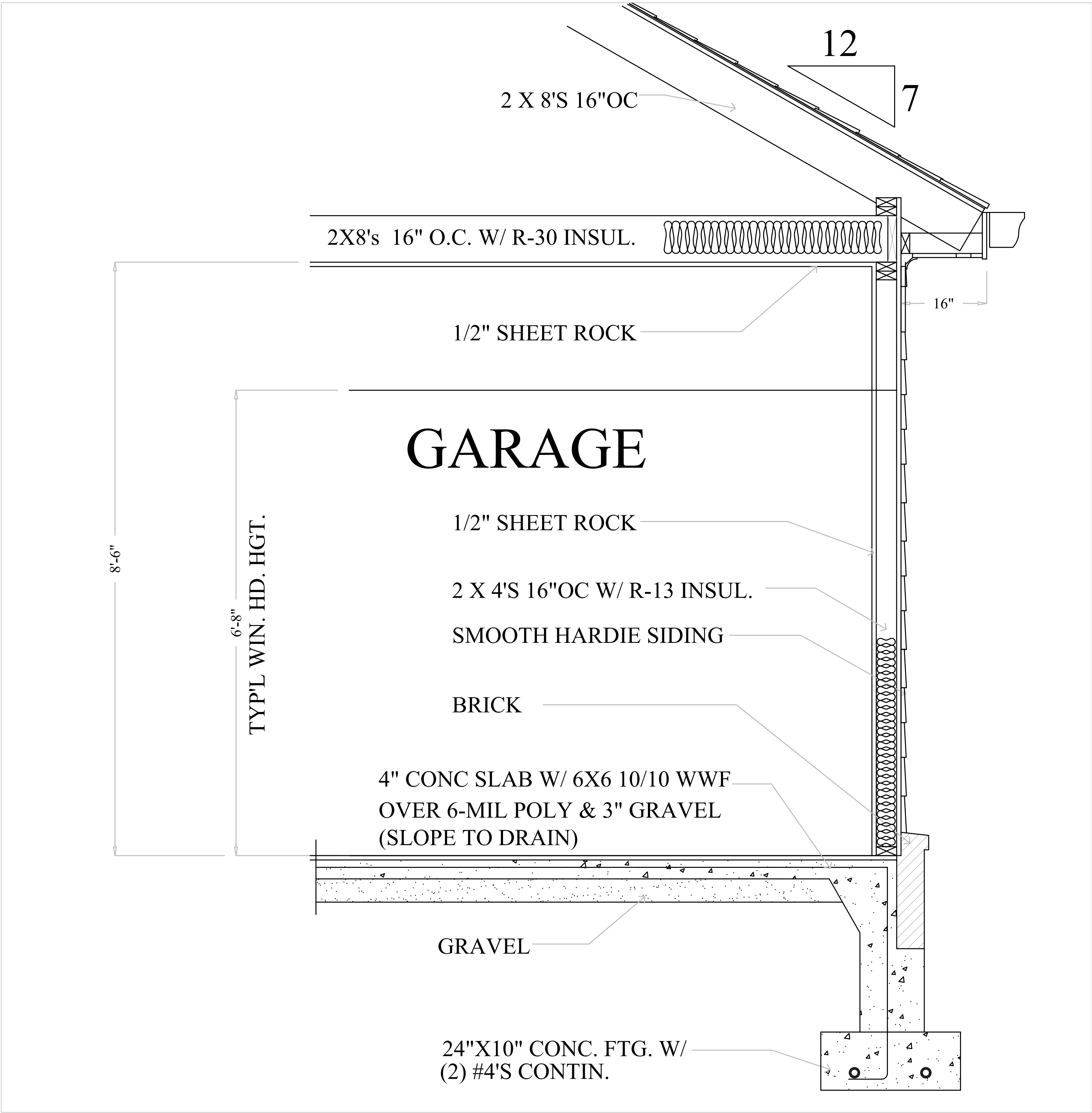
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DATE	JOB #
8/1/20	
DRAWN	SHEET
C.M.	A-4

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AUGUST 1, 2020

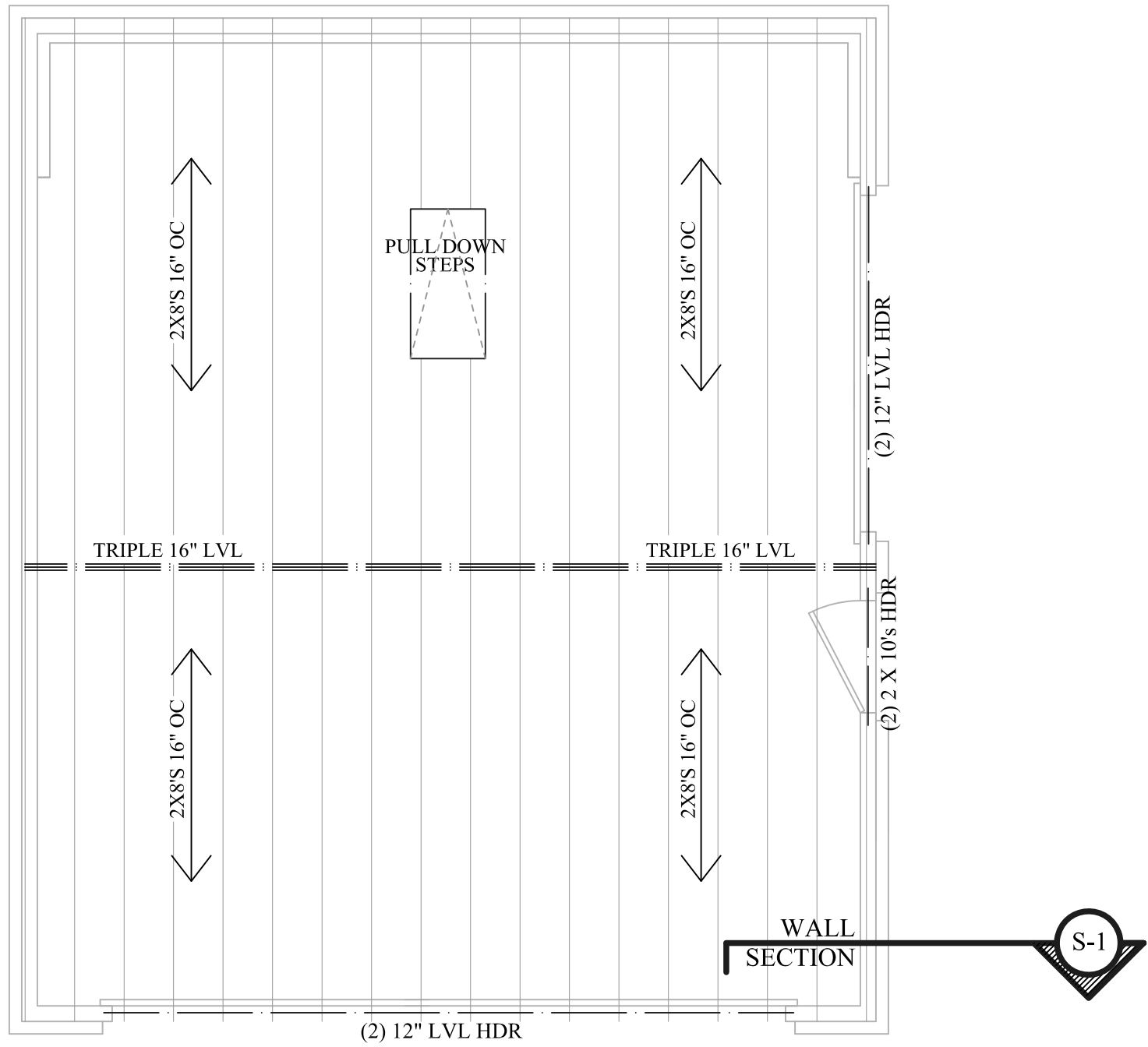


WALL SECTION - (S-1)

SCALE: 1" = 1'-0"

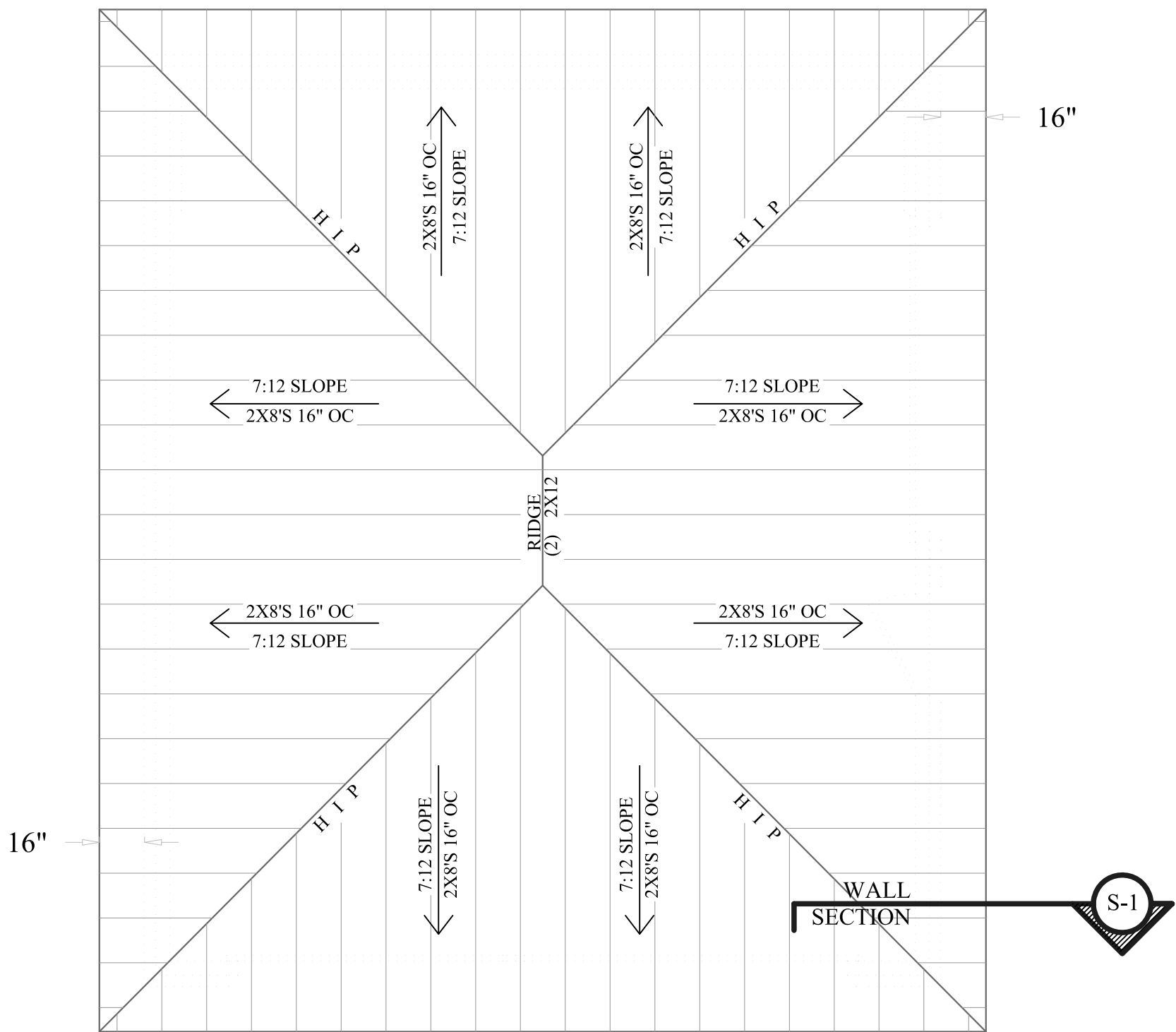
FRAMING NOTE:
Each roof rafter shall be tied down to both double top plates with straps of sufficient length to span from the roof rafter, across the band at the ceiling rafters, and extending -- at a minimum -- to the bottom of the lower plate.

FRAMING NOTE:
All exterior walls are considered to be shear walls; therefore, all exterior walls shall be fully sheathed and fully blocked at all edges. Horizontal sheathing joints shall not occur at the floor line, nor shall vertical or horizontal joints align with sides of openings in the exterior walls. floor structure.



PROPOSED CEILING FRAMING PLAN

SCALE: 1/2" = 1'-0"



PROPOSED ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"



REVISIONS	

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404.273.2555
chip@chipmurrharchitect.com

A NEW DETACHED 2-CAR GARAGE FOR
JENN & GEOFF TAYLOR
8030 MONTICEILLO DRIVE SANDY SPRINGS, GA. 30350

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DATE	JOB #
8/1/20	
DRAWN	SHEET
C.M.	A-5

RELEASED FOR CONSTRUCTION

AUGUST 1, 2020

Smith, Madalyn

From: Jennifer Taylor [REDACTED]
Sent: Tuesday, November 24, 2020 9:58 AM
To: Smith, Madalyn
Subject: Re: Structure

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Madalyn,
This is from 2 houses down on the corner.
Jenn

On Fri, Nov 20, 2020 at 10:46 AM darren leber [REDACTED]

Hello,

This note is to confirm that we are completely okay with the garage structure being built at 8030 Monticello Drive.

Regards,
Lori and Darren Leber

[Sent from AT&T Yahoo Mail for iPhone](#)

Smith, Madalyn

From: Jennifer Taylor <[REDACTED]>
Sent: Friday, November 20, 2020 10:35 AM
To: Smith, Madalyn
Subject: Fwd: Garage Addition - Taylor, 8030 Monticello Drive, 30350

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Madalyn,

You may already have this one. This is from the neighbor that borders the lot line in question, the Nelsons.
Jenn

----- Forwarded message -----

From: Jill Nelson <[REDACTED]>
Date: Sun, Aug 16, 2020 at 11:36 AM
Subject: Garage Addition - Taylor, 8030 Monticello Drive, 30350
To: <madalyn.smith@sandyspringsga.gov>
Cc: Jennifer Taylor <jenn@jennandgeoff.com>

Sandy Springs BOA,

My name is Jill Nelson and I am the next-door neighbor to Jennifer and Geoff Taylor. We live at 8040 Monticello Drive and they are at 8030 Monticello Drive. We have been in this neighborhood for 27 years.

In 2003 when Jenn & Geoff moved in, their ranch was not in such great shape. Over the years we've watched dumpster after dumpster in their driveway as they renovated every room. They completely overalled the front yard, with hard and soft landscaping and all new sod. They painted the house and trim, put on new shutters, new gutters and replaced the roof. We recently watched as they resurfaced their pool and pool deck.

Now as they embark on adding an extra garage at the top of the driveway on the side of the house that borders our lot line, we are excited they continue to make the neighborhood more beautiful.

As our Marlborough Estates has aged, thankfully most of our neighbors are maintaining and upgrading their property. The house next to Jenn and Geoff, on the other side, completed an addition several years ago to add another 2 car garage, and the home on the other side of us has a 3 car garage.

We ourselves put in a beautiful new driveway, upgraded our roof and shutters, put in copper gutters, and replaced all of the windows, to keep our curb-view in keeping with this ever changing neighborhood.

We heartily endorse the variance requested by Jenn and Geoff to place the new garage 13' from our lot line. Everything they do is in keeping with the style of this neighborhood, and we can see from their plans this will be no different.

Please feel free to call or write if you have any other questions for me.

All the best,

Jill Nelson,
8040 Monticello Dr

[REDACTED]
[REDACTED]

Smith, Madalyn

From: Jennifer Taylor <[REDACTED]>
Sent: Friday, November 20, 2020 10:34 AM
To: Smith, Madalyn
Subject: Fwd: Garage

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Madalyn,
Here is another endorsement from 8005 Monticello.
Jenn

----- Forwarded message -----

From: Geoff Taylor [REDACTED]
Date: Fri, Nov 20, 2020 at 10:27 AM
Subject: Fwd: Garage
To: Taylor Jenn [REDACTED]

Geoff Taylor, WSET
United Dist. Inc.
404-805-9463

Begin forwarded message:

From: Juan Sanchez [REDACTED]
Date: November 14, 2020 at 5:41:51 PM EST
To: Geoff Taylor [REDACTED]
Subject: Garage

Just received your note. If there is any value in getting neighbor endorsement regarding your plans, we have no concerns with the variance exception you are seeking to build out the garage. Good luck on the 2nd.

Juan
8005 Monticello Dr.

Sent from my iPhone

Smith, Madalyn

From: Jennifer Taylor <jenn[REDACTED]>
Sent: Friday, November 20, 2020 9:46 AM
To: Smith, Madalyn
Subject: Fwd: New Garage

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Madalyn,
I continue to get emails like this one. Should I forward to you? Print and bring with me? Just discard?

Any thoughts appreciated!
Jenn

----- Forwarded message -----

From: Bruce Smith <[REDACTED]>
Date: Thu, Nov 19, 2020 at 3:09 PM
Subject: New Garage
To: [REDACTED]

RE: Variance V20-0037 new detached garage

Jenn and Geoff Taylor

Just for the record, Lynn and I have no objection to your proposed new garage.

Our property is on the opposite, S.E. back corner of your property.

Good luck with the project.

Best Regards,

Bruce and Lynn Smith

1900 Monticello Court

TAYLOR

Date: November 15, 2020
Petitioner: Jenn and Geoff Taylor
Subject: Notice of Board of Appeals Hearing
Case Number: Variance V20-0037

Dear Neighbor,

You are receiving this notice because you own property within 500' of us at 8030 Monticello Drive. We own the property and are seeking a Variance from section 2.2.2 of the Sandy Springs RE-2 zoning. The zoning was redone in 2017 and RE-2 indicates any new construction needs to be 60' from the road and 25' from the side lot lines.

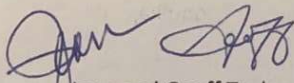
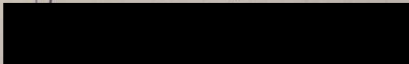
We are hoping to build a detached garage addition at the top of our driveway which would be closer than 25' of the North lot line which is the one that borders Jill and Dean Nelson's house (it will be 13' from the line). There is a natural grotto/flat area at the top of the driveway there that makes this the most logical spot without having to grade or remove trees. The garage style will be in keeping with our existing home, it is single story, no plumbing/apartment and the roofline the architect describes as a "hip roof" or pyramid style. Jill and Dean have given us a hearty endorsement on the plans.

We have completed the arduous variance application, which included getting a new survey, a site plan, in addition to the architects plans. If you haven't had a chance to see the 32 sq' sign in the front yard yet, do come by, it is quite something. It will tell you **this proposal is tentatively scheduled to be considered by the Board of Appeals on December 2, 2020 at 6:00 PM at Sandy Springs City Hall at 1 Galambos Way, Sandy Springs, Georgia 30328.** If you have nothing going on December 2nd and want to join the two of us at city hall, please do, we will probably be quite nervous, or you can attend virtually if you prefer.

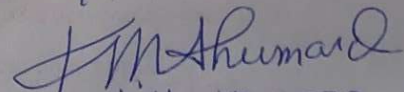
The virtual option is a Zoom Webinar at <http://spr.gs/boa1222020>. For instructions on how to provide public comment during the public hearing, please visit <http://spr.gs/pm>.

Information is also posted on the City website at <http://spr.gs/V20-0037>. If you would like more information, please contact either of us, Jenn 404.808.5327 or Geoff 404.808.5363.

Thank you,


Jenn and Geoff Taylor


Jenn and Geoff,
This is Ken & Joyce Shumard
at 8035 Monticello Dr., directly
across the street from you. Joyce and
I completely endorse your plans for your
new garage. We have no negative
response to your request for a
variance.


11-18-2020

8030 MONTICELLO DRIVE, SANDY SPRINGS, GA 30350 | 404.808.5327

Smith, Madalyn

From: Jennifer Taylor <jenntaylorhome@gmail.com>
Sent: Tuesday, November 24, 2020 9:56 AM
To: Smith, Madalyn
Subject: Fwd: Building variance

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Madalyn,
This is an endorsement from three houses down on Monticello Ct.
Jenn

----- Forwarded message -----

From: Dana Griffin <utdana509@gmail.com>
Date: Sat, Nov 21, 2020 at 1:15 PM
Subject: Building variance
To: <jenntaylorhome@gmail.com>

To Whom it May Concern,

This note serves as our support of the Taylor home addition. We are pleased with their plan to add to the value of their property located at 8030 Monticello. Thank you for considering their proposal.

Have a great day,
Glenn and Dana Griffin
1895 Monticello Ct.
Atlanta 30350



SANDY SPRINGS

GEORGIA

P&Z STAFF REPORT

Board of Appeals Meeting, December 2, 2020

Case: **V20-0039 – 397 Carriage Drive**
Staff Contact: Madalyn Smith (msmith@sandyspringsga.gov)
Report Date: November 20, 2020

REQUEST

Request for a Variance from Sec. 9.2.4.A. to allow a pool in the additional 25-foot impervious surface setback (impervious surface setback) at 397 Carriage Drive.

APPLICANT

Property Owner: Rafael Dobrzynski	Petitioner: Rafael Dobrzynski	Representative: N/A
--------------------------------------	----------------------------------	------------------------

SUMMARY

The applicant requests a Variance to allow a pool in the additional 25-foot impervious surface setback. While there is no buildable area in the backyard due to the stream buffers, staff does not recognize the inability to construct a pool as an extreme hardship.

RECOMMENDATION

Department of Community Development

Staff recommends **Denial** of **Variance** V20-0039.

MATERIALS SUBMITTED AND REVIEWED

Materials and Plans:

1. Application, received October 27, 2020
2. "Site Plan," prepared by Pristine Land Services, dated June 18, 2020, received October 27, 2020
3. Infiltration Test, dated November 17, 2020

PROPERTY INFORMATION	
Location:	397 Carriage Drive (Parcel ID # 17 007100040269)
Council District:	4 – Jody Reichel
Road frontage:	Approximately 143 feet of frontage on Carriage Drive
Acreage:	Approximately .63 acres
Current Zoning: Existing Land Use:	RD-18 (Residential Detached, 18,000 square foot minimum lot size) Single unit detached residential unit
Previous Zoning Case:	Variance V09-0056 to allow encroachment into the side setback and the impervious surface setback for the construction of a single unit detached residence was approved.
Character Area:	Protected Neighborhood

SITE PLAN (received October 27, 2020) (full size Site Plan in Package)



PROPOSED DEVELOPMENT

The subject property is located off of Mount Vernon Highway NE in the Mount Vernon Woods subdivision. It is currently developed with a single unit detached residence. A Variance was approved in 2009 to construct the home encroaching into the side setback in order to minimize impact on the state waters buffers and to allow for a minor amount of encroachment into the impervious surface setback. It was completed in 2012, and approximately 20 square feet of the existing home encroaches into the impervious surface setback.

The following images show the existing conditions of 397 Carriage Drive.





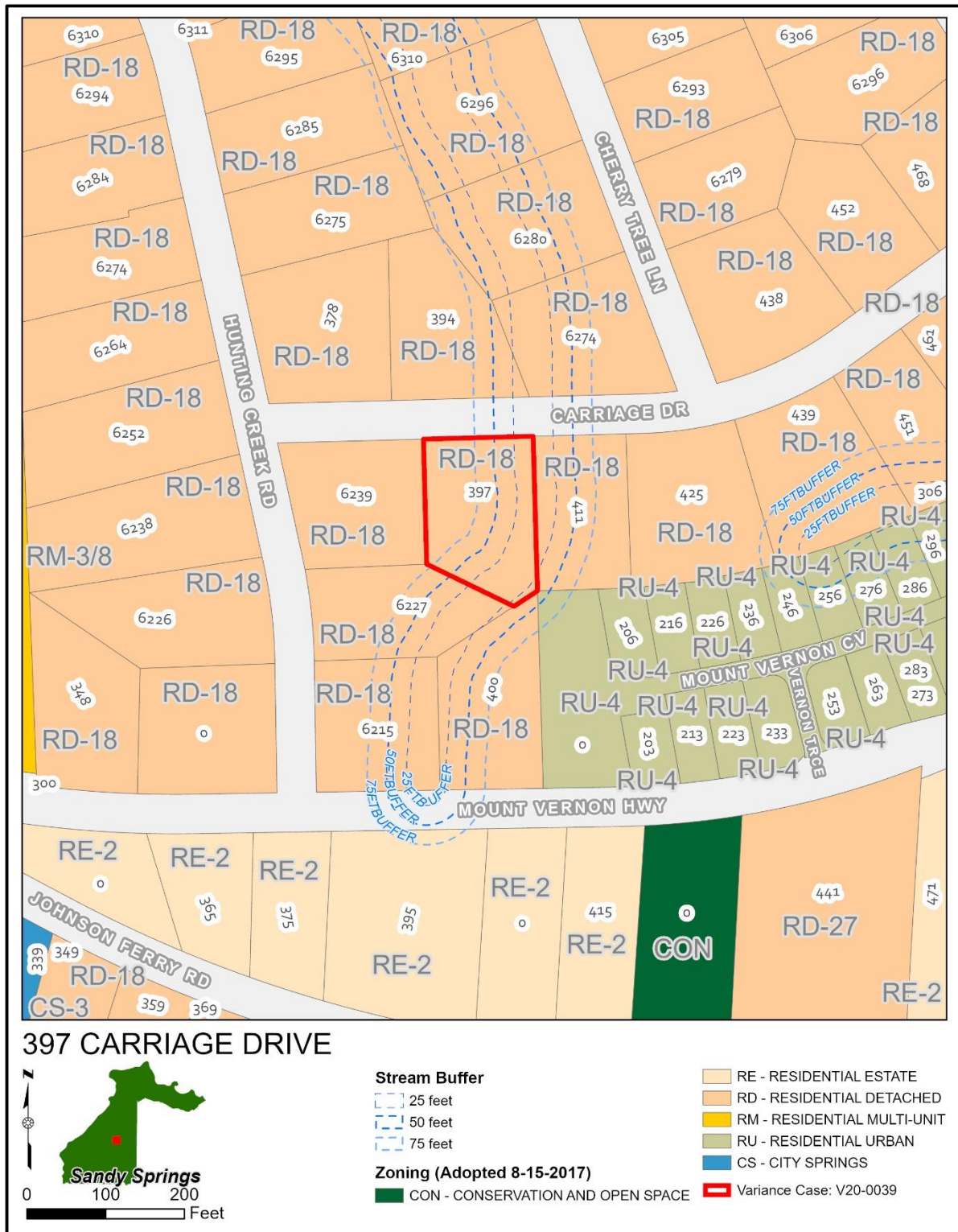
(All photographs by Madalyn Smith, November 11, 2020)

EXISTING ZONING AND LAND USES OF PROPERTY IN THE VICINITY			
Location relative to subject property	Zoning / Land use	Address(es)	Land area (acres) (approximate)
North	RD-18 / Single Unit Detached Residence	394 Carriage Drive	0.67
East	RD-18 / Single Unit Detached Residence	411 Carriage Drive	0.54
South	RD-18 / Single Unit Detached Residence	6239 Hunting Creek Road	0.59
West	RD-18 / Single Unit Detached Residence	6227 Hunting Creek Road	0.54
PROPOSED DEVELOPMENT			
--	RD-18 / Single Unit Detached Residence	397 Carriage Drive	0.56

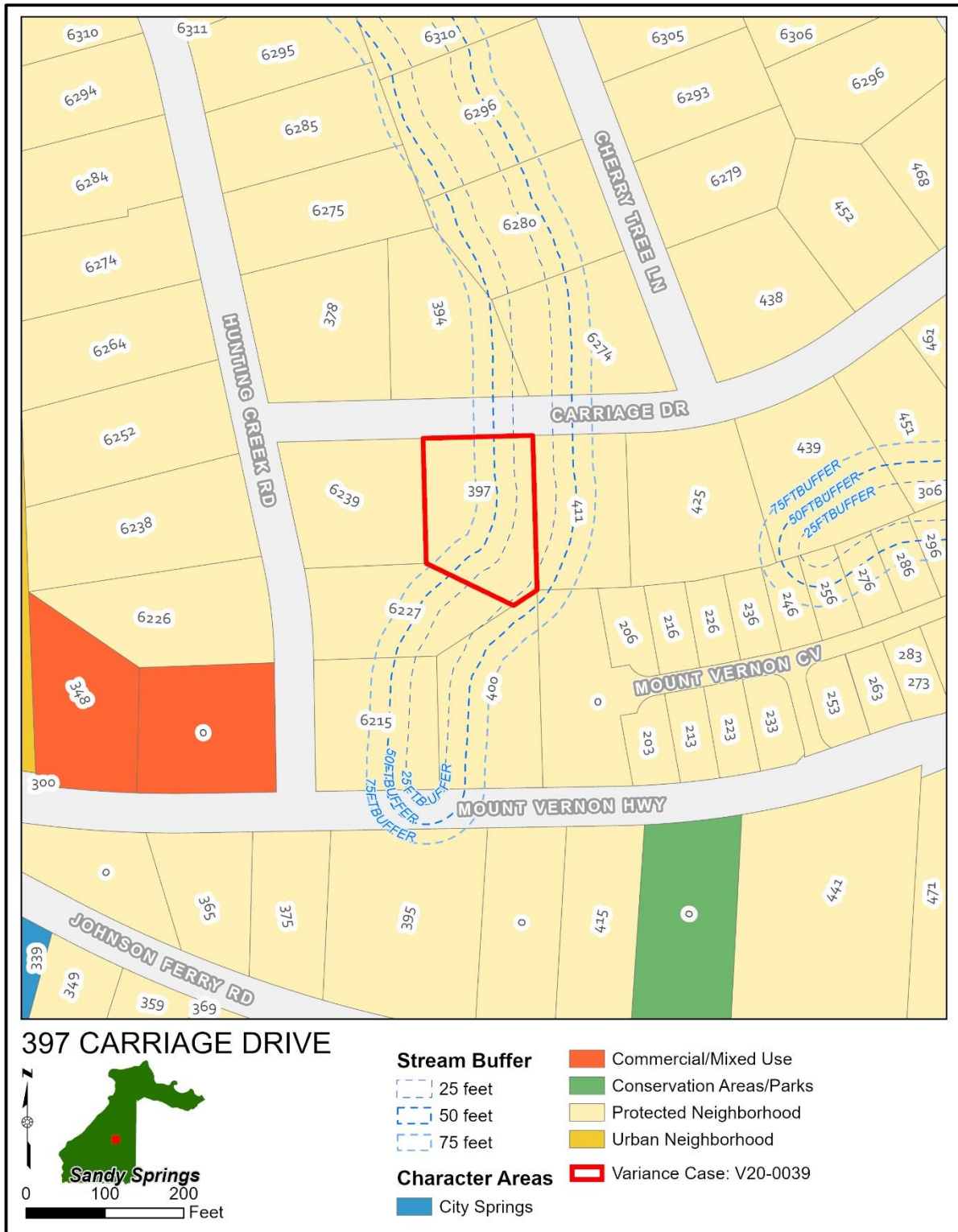
AERIAL IMAGE



ZONING MAP



CHARACTER AREA MAP



STREAM BUFFER VARIANCE CONSIDERATIONS

Per Sec. 9.2.4.B. of the Development Code, the following list of approval criteria for a Stream Buffer Variance provides guidance for making decisions on approval:

- a. The property's shape, topography or other physical conditions existing on December 12, 2005 prevent land development unless a buffer or setback Variance is granted;*
- b. Unusual circumstances when strict adherence to the minimal buffer and setback requirements would create an extreme hardship.*

Finding: The property meets the minimum lot width and area requirements for the RD-18 District. The property slopes significantly to the rear, where the state waters are located. State waters buffers cover approximately 65% of the property, and there is no location in the buildable area for the construction of a pool. Although the physical conditions of the property prevent further land development, Staff does not view the inability to construct a pool to constitute an extreme hardship.

Variances will not be considered when actions of any property owner of a given property after December 12, 2005 have created conditions of a hardship on that property.

Finding: The conditions of the property are not the result of action or inaction of the property owner.

The following factors will be considered by the Board of Appeals in determining whether to issue a Stream Buffer Variance:

- The shape, size, topography, slope, soils, vegetation and other physical characteristics of the property;*
- The locations of all state waters, wetlands, floodplain boundaries and other natural features on the property, including along property boundaries, as determined by field survey;*
- The location and extent of the proposed buffer or setback intrusion;*

Finding: The property slopes moderately from west to east, especially close to the state waters. The rear yard contains several mature hardwoods and significant canopy coverage. There are no floodplain or wetlands on the property. The state waters run north to south along the southern and eastern property lines. Currently, a small portion, approximately two (2) feet, of the southeast corner of the house encroaches into the impervious surface setback. The state waters buffers essentially bisect the lot, making half of it unbuildable.

The applicant proposes approximately 1900 SF of impervious surface in the impervious surface setback. This area is currently cleared, serving as a grass lawn. The pool would encompass most of the usable backyard.

Proposed Impervious Encroachment For Pool		
Buffer/Impervious Surface Setback	Existing Encroachment (square feet)	Proposed Encroachment (square feet)
25' Impervious Surface Setback	20	1933.50
25' City Undisturbed Natural Vegetative Buffer	0	0
25' State Waters Buffer	0	0
Total:	20	1933.50

- ***Whether alternative designs are possible which require less intrusion or no intrusion;***

Finding: There are no alternatives that require no intrusion, certainly less intrusion could be accomplished by making the pool and decking smaller.

- ***The long-term and water quality impacts of the proposed Variance; and***
- ***Whether issuance of the Variance is at least as protective of natural resources and the environment.***

Finding: The applicant proposes additional landscaping, which would be subject to the City's River, Tributary, and State Waters Buffer Revegetation Standards, and proposes to increase the required stormwater mitigation by 1.2 inches to offset the encroachment into the impervious surface setback.

COMMENTS FROM OTHER PARTIES

Sandy Springs City Engineer:

11/2: The Soils Maps show the proposed infiltration area appears to be located in Cecil Soil Series. At depth of 12 to 60 inches, these soils may have limited permeability and infiltration rates due to clay content within the soil mix. Proximity to the state waters may reflect high ground water conditions as well.

Given possible low infiltration rates and ground water conditions unsuitable to infiltration, I would suggest the owner perform infiltration testing at depths of four (4) to six (6) feet to verify that infiltration exceeds 0.5 inches/hour prior to seeking a Stream Buffer Variance.

11/19 (Applicant provided an infiltration test): This infiltration test would meet our minimal requirements. Installation would require additional grading operations in the impervious surface setback. That information should be included within the Application and minimized during design/construction, if this Stream Buffer Variance is granted.

Sandy Springs Chief Environmental Compliance Officer:

This house was built after the additional 25-foot impervious surface setback was in effect. I don't know that a hardship applies here.

Sandy Springs Arborist:

No comment provided.

Sandy Springs Sustainability Manager:

Would need to see a detailed planting plan, demonstrating compliance with the River, Tributary, and State Waters Buffer Revegetation Standards. Also, they cannot plant trees and shrubs close to a sewer line. Even if there is no recorded easement, it is in their best interest not to cause a sewer spill.

Sandy Springs Building Official:

No comment provided.

Correspondence Received:

No public comment was submitted in writing.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION

Following review, and based on the findings, Staff recommends **Denial** of **Variance** V20-0039, request for a Variance from Sec. 9.2.4.A. to allow a pool in the additional 25-foot impervious surface setback.

If the Board of Appeals chooses to approve the request, Staff recommends the following conditions:

1. The footprint of the proposed pool be limited to that shown on the “*Site Plan*,” prepared by Pristine Land Services, dated June 18, 2020, received October 27, 2020.
2. The landscape strips identified on the “*Site Plan*” must be planted according to the City’s River, Tributary, and State Waters Buffer Revegetation Standards. The planting plan is subject to the approval of the Chief Environmental Compliance Officer and the Sustainability Manager.



SANDY SPRINGS
GEORGIA

Case No.: _____
Planner's initials: _____

PROJECT INFORMATION SHEET

PROPERTY	Address(es): 397 CARRIAGE DR, SANDY SPRINGS, GA 30328	
	Parcel Tax ID: 17607100040269	
	Total acreage: 27576 ± 0.63 Acres	Council district: 17th
	Current zoning: RD-1B	Current use: 101 RESIDENTIAL
	Character Area:	

APPLICATION	Detailed request (include Code/Ordinance Section No.):	
	VARIANCE TO ALLOW POOL & DECKING ADJACENT TO HOME INSIDE 75' BUFFER. 75' BUFFER IS SHOWN ON SURVEY CROSSING LEFT REAR CORNER OF HOME, LEAVING VERY LITTLE, TO NO ROOM FOR A POOL.	
	CODE SECTION 9.2.4.A.2	
	DEVELOPMENT CODE/ORDINANCE SECTION 9.2.4.A.2	
	Petitioner: RAFAEL DOBRZYNSKI (HOMEOWNER)	
	Petitioner's address: 397 CARRIAGE DR. SANDY SPRINGS, GA 30328	
Phone: [REDACTED]		

OWNER	Property owner: RAFAEL DOBRZYNSKI	
	Owner's address: 397 CARRIAGE DR. SANDY SPRINGS, GA 30328	
	Phone: [REDACTED]	
	Signature (authorizing initiation of the process): <i>Rafael Dobrzynski</i>	
If the property is under contract, provide a copy of the contract		

- TO BE FILLED OUT BY P&Z STAFF -

Pre-Application Meeting date:	Anticipated application date:
Anticipated BOA date:	
ADDITIONAL INFORMATION NEEDED:	

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTIONS, SUBSURFACE CONDITIONS, OR OTHER MATTERS OF TITLE WHICH ARE NOT VISIBLE, NOT RECORDED, OR NOT DISCLOSED IN THE TITLE ABSTRACT PROVIDED BY THE OWNER, THE PURCHASER, OR ANY AGENTS THEREOF.

IMPERVIOUS SURFACES	
HOUSE	2537 S.F.
DRIVEWAY	1437 S.F.
REAR DECKING	459 S.F.
FRONT PORCH	216 S.F.
SIDEWALK	125 S.F.
WALL	50 S.F.
AC UNITS	27 S.F.
TOTAL	4851 S.F. (17.59%)

PROPOSED IMPERVIOUS	
POOL AREA	848 S.F.
POOL COPING	138 S.F.
SPA AREA	49 S.F.
SPA COPING	22.5 S.F.
POOL DECK	795 S.F.
WALL	37 S.F.
EQUIP PAD	24 S.F.
TOTAL	1913.5 S.F. (6.94%)



LEGEND

⊗	P.P. - POWER POLE
⊗	L.P. - LIGHT POLE
⊗	F.H. - FIRE HYDRANT
⊗	M.H. - SANITARY SEWER MANHOLE
⊗	W.M. - WATER METER
⊗	G.M. - GAS METER
⊗	RBS - REINFORCING BAR SET
⊗	RBF - REINFORCING BAR FOUND
⊗	CTF - CRIMP TOP PIPE FOUND
⊗	OTF - OPEN TOP PIPE FOUND
⊗	R/W MON. - RIGHT-OF-WAY MONUMENT
⊗	TYPE OF FENCE
⊗	J.B. - JUNCTION BOX
⊗	D.I. - DROP INLET / YARD INLET
⊗	C.B. - CATCH BASIN
⊗	R.C.P. - REINFORCED CONCRETE PIPE
⊗	C.M.P. - CORRUGATED METAL PIPE
⊗	F.F.E. - FINISHED FLOOR ELEVATION
⊗	WATER VALVE
⊗	U.E. - UNDERGROUND ELECTRIC
⊗	SOUTHERN BELL MANHOLE
⊗	GAS LINE
⊗	O/H - OVERHEAD POWER LINES
⊗	HW - HEADWALL
⊗	W - WATER LINE
⊗	PBX - POWERBOX

GENERAL PLAT NOTES:

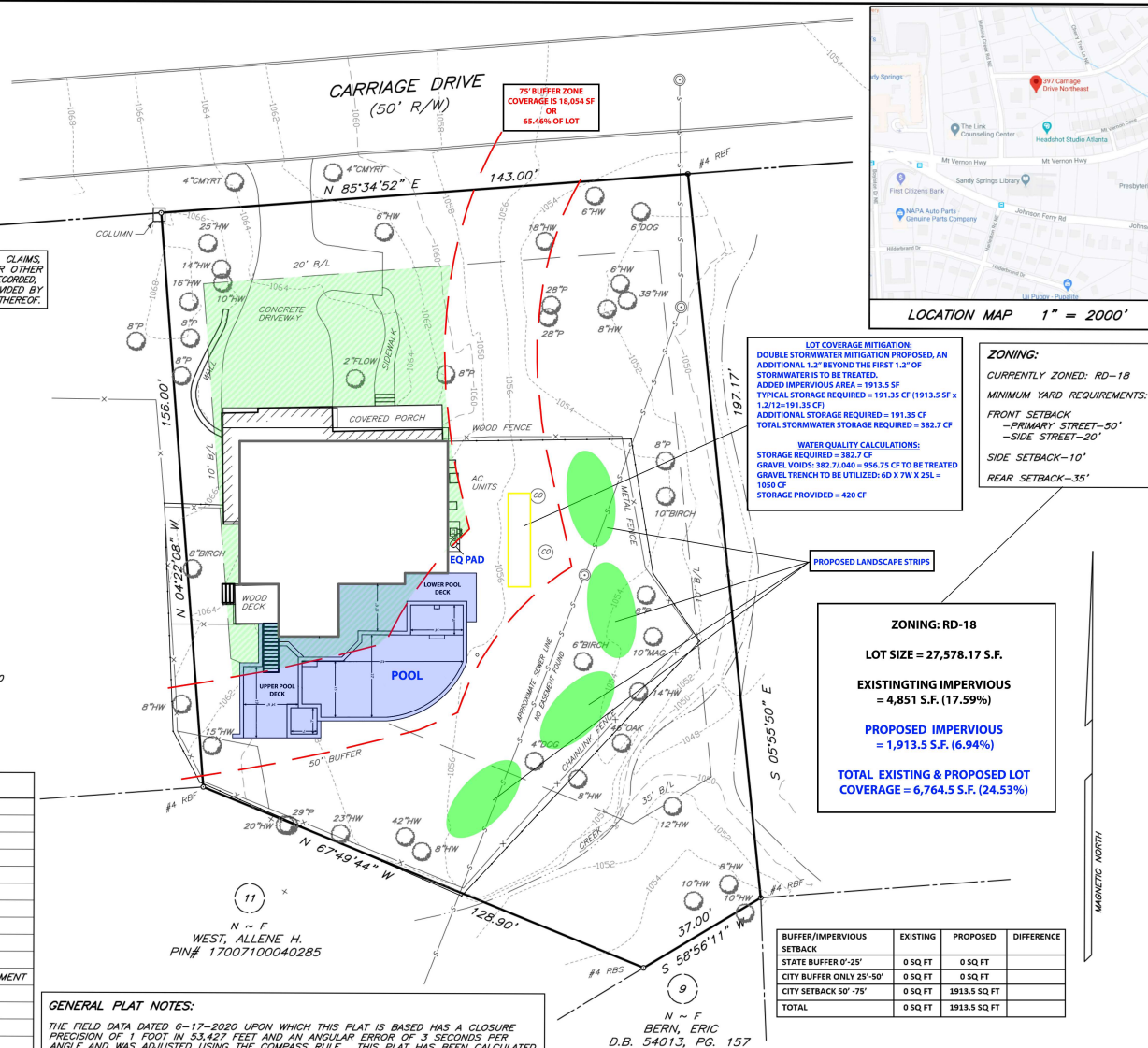
THE FIELD DATA DATED 6-17-2020 UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1 FOOT IN 53,427 FEET AND AN ANGULAR ERROR OF 3 SECONDS PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 388,142 FEET. A TRIMBLE S6 ROBOT WAS USED FOR ANGULAR AND LINEAR MEASUREMENTS.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN; ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY PANEL #13121C0161F DATED SEPTEMBER 18, 2013.

THIS PLAT IS FOR THE EXCLUSIVE USE OF RAFAEL DOBRZYNSKI. ANY USE BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT POLICY; THEREFORE EXCEPTION IS MADE HEREIN TO ANY EASEMENTS, RESERVATIONS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD, WHICH MAY EXIST. FURTHERMORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RESERVATIONS, RIGHTS OF WAY, OR RESTRICTIONS, WHICH ARE NOT RECORDED OR NOT DISCLOSED BY THE TITLE COMMITMENT OR OTHERWISE UNKNOWN TO THE SURVEYOR; THEREFORE EXCEPTION IS TAKEN TO ANY SUCH ITEMS.



LOCATION MAP 1" = 2000'

PRISTINE

LAND SERVICES
Land Surveyors • Landscapes • Environmental
4131 Bellingbrook Dr.
Marietta, Georgia 30062
Phone 404.782.1042
www.pristineandservices.com

TOPOGRAPHIC SURVEY FOR:
RAFAEL DOBRZYNSKI
LAND LOT 71, 17TH DISTRICT
LOT 13
SECTION 2, BLOCK "B"
S & H DEVELOPMENT COMPANY PROPERTY
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA



REVISIONS

DATE: 6-18-2020
SCALE: 1"=20'
DRAWN BY: KAB
CHECKED BY: KAB
PROJECT NO. 2020120

CARRIAGE.DWG

SURVEYORS CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTIONS, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 19-6-67.

K. Addison Blakeslee
K. ADDISON BLAKESLEE GA RLS #3246

6-18-2020
DATE

CUSTOM POOLS OF ATLANTA
4776 MYSTIC DR
ATLANTA, GA 30342

RE: LETTER OF INTENT CONCERNING STREAM BUFFER VARIANCE REQUEST

Rafael Dobrzynski
397 Carriage Drive
Sandy Springs, GA 30328
Land Lot 71, 17th District, Lot 13
RD-18 Zoning

This is a single-family residential home. The size of the lot is 0.63 acres (27,576 sf) and is a mostly rectangular lot with the southeast corner extended. There is a creek running along the east side of the length of the property, north to south, near or along the property line. The topography slopes from west to east (to the creek) on the entire property. Due to the buffers imposed by the course of the creek, the 75' buffer encroaches into the southeast corner of the home, making it impossible to propose any structure without disturbing this buffer (which encompasses > 65% of the total lot). No alternative can be introduced, as this in itself pertains to the hardship. We propose a 1913.5 SF pool and decking that will encroach only into the 75' buffer, and not disturb the 50' or 25' buffers. This will entail only a 6.94% impervious footprint of the entire lot coverage.

Proposed mitigation for stormwater reduction will be in the form of an infiltration pit, on the east side of the home within the 75' buffer, designed to easily accommodate the proposed impervious. The infiltration pit will incorporate fabric and washed stone, encompassing 40% gravel voids, as accepted in previous projects within Sandy Springs.

<u>LOT COVERAGE MITIGATION:</u>
DOUBLE STORMWATER MITIGATION PROPOSED, AN ADDITIONAL 1.2" BEYOND THE FIRST 1.2" OF STORMWATER IS TO BE TREATED.
ADDED IMPERVIOUS AREA = 1913.5 SF
TYPICAL STORAGE REQUIRED = 191.35 CF (1913.5 SF x 1.2/12=191.35 CF)
ADDITIONAL STORAGE REQUIRED = 191.35 CF
TOTAL STORMWATER STORAGE REQUIRED = 382.7 CF
<u>WATER QUALITY CALCULATIONS:</u>
STORAGE REQUIRED = 382.7 CF
GRAVEL VOIDS: 382.7/.040 = 956.75 CF TO BE TREATED
GRAVEL TRENCH TO BE UTILIZED: 6D X 7W X 25L = 1050 CF
STORAGE PROVIDED = 420 CF

Proposed landscape plantings with native Georgia foliage for stability, will include the following:
4 landscaping zones called out on site plan. All 4 zones to have 1 each of either River Birch or Pin Oak trees, and 4 each of either Native Azaleas or Anabelle Hydrangeas.

CUSTOM POOLS OF ATLANTA
4776 MYSTIC DR
ATLANTA, GA 30342



RE: VARIANCE ANALYSIS CONCERNING STREAM BUFFER VARIANCE REQUEST

Rafael Dobrzynski
397 Carriage Drive
Sandy Springs, GA 30328
Land Lot 71, 17th District, Lot 13
RD-18 Zoning

This is a single-family residential home built in 2012 and sold in 2013. The present owner bought the home in May of 2016. The size of the lot is 0.63 acres (27,576 sf) and is a mostly rectangular lot with the southeast corner extended. There is a creek running along the east side of the length of the property, north to south, near or along the property line. The topography slopes from west to east (to the creek) on the entire property. This is an unusual circumstance for development, due to the buffers imposed by the course of the creek as the 75' buffer encroaches into the southeast corner of the home, making it impossible to propose any structure without disturbing this buffer (which encompasses > 65% of the total lot). No alternative can be introduced, as this in itself defines the hardship. We propose a 1913.5 SF pool and decking that will encroach only into the 75' buffer, and not disturb the 50' or 25' buffers. This will entail only a 6.94% impervious footprint of the entire lot coverage.

CUSTOM POOLS OF ATLANTA
4776 MYSTIC DR
ATLANTA, GA 30342
[REDACTED]

RE: LEGAL DESCRIPTION CONCERNING STREAM BUFFER VARIANCE REQUEST

Rafael Dobrzynski
397 Carriage Drive
Sandy Springs, GA 30328
Land Lot 71, 17th District, Lot 13
RD-18 Zoning

LEGAL DESCRIPTION

LOT 13

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 71 OF THE 17TH DISTRICT, FULTON COUNTY, GEORGIA, AND BEING KNOWN AS LOT 13, SECTION 2, BLOCK "B", S&H DEVELOPMENT COMPANY PROPERTY, AND BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" REBAR FOUND ON THE RIGHT-OF-WAY OF CARRIAGE DRIVE (50' RIGHT-OF-WAY) AND THE NORTHEASTERLY CORNER OF SAID LOT 13; THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 05 DEGREES 55 MINUTES 50 SECONDS EAST A DISTANCE OF 197.17 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 58 DEGREES 56 MINUTES 11 SECONDS WEST A DISTANCE OF 37.00 FEET TO A POINT; THENCE NORTH 67 DEGREES 49 MINUTES 44 SECONDS WEST A DISTANCE OF 128.90 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 04 DEGREES 22 MINUTES 08 SECONDS WEST A DISTANCE OF 156.00 FEET TO A COLUMN FOUND ON THE RIGHT-OF-WAY OF SAID CARRIAGE DRIVE; THENCE ALONG SAID CARRIAGE DRIVE RIGHT-OF-WAY, NORTH 85 DEGREES 34 MINUTES 52 SECONDS EAST A DISTANCE OF 143.00 FEET TO THE POINT OF BEGINNING.

SAID LAND TRACT OR PARCEL CONTAINING 0.63 ACRES (27,576 SQ. FT.) MORE OR LESS.



SANDY SPRINGS

GEORGIA

AUTHORIZATION FORM – PART II

C- If an agent or attorney will represent the owner and/or the applicant:
Fill out the following section and have it notarized:

Agent's name:	DANNY FRANKIE
Company name:	CUSTOM POOLS OF ATLANTA
Address:	4276 MYSTIC DR NE
City, State, Zip Code:	ATLANTA, GA 30342
Email address:	[REDACTED]
Phone number:	[REDACTED]
Agent's signature:	[Signature]
Applicant's signature:	[Signature]

Sworn and subscribed before me this
27 th day of OCTOBER 20 20
Notary public:
[Signature]
Seal:
 JAN 07, 2023



SANDY SPRINGS
GEORGIA

AUTHORIZATION FORM – PART I

A- The property owner must fill out the following section and have it notarized. If a property has multiple owners, each owner must separately fill out a copy of the authorization form.

Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.	
Owner's name: <u>RAFAEL DOBRZYNSKI</u>	Sworn and subscribed before me this <u>26th</u> day of <u>AUGUST</u> 20 <u>20</u>
Address: <u>397 CARRIAGE DR.</u>	
City, State, Zip Code: <u>SANDY SPRINGS, GA 30328</u>	Notary public: <u>[Signature]</u>
Email address: <u>[Redacted]</u>	Seal:
Phone number: <u>[Redacted]</u>	
Owner's signature: <u>[Signature]</u>	



Commission expires: JAN 07, 2023

B- If the applicant is *not* the owner of the subject property:

Fill out the following section, check the appropriate statement and have it notarized:

Applicant states under oath that:	
☐ He/she is the executor or Attorney-in-Fact under a Power-of-Attorney for the owner (<i>attach a copy of the contract</i>); or ☐ He/she has an option to purchase the subject property (<i>attach a copy of the contract</i>); or ☐ He/she has an estate of years which permits the applicant to apply (<i>attach a copy of the lease</i>)	
Applicant's name:	Sworn and subscribed before me this _____ day of _____ 20 ____ Notary public: Seal: Commission expires:
Company name:	
Address:	
City, State, Zip Code:	
Email address:	
Phone number:	
Applicant's signature:	